



# Hamlet of Cheadle



WHEATLAND  
COUNTY

Proud heritage. golden future...



## Area Structure Plan

*September 2012*



WHEATLAND COUNTY  
PROVINCE OF ALBERTA  
BYLAW 2012-75  
DIVISION#: 4  
Hamlet of Cheadle

Being a bylaw of Wheatland County for the purpose of adopting an Area Structure Plan to provide a comprehensive framework for development.

**NOW THEREFORE** pursuant to the Municipal Government Act, the Council of Wheatland County, duly assembled enacts as follows:

1. This Bylaw may be cited as the "Hamlet of Cheadle Area Structure Plan".
2. The "Hamlet of Cheadle Area Structure Plan" being Schedule "A" attached hereto and forming part of this Bylaw in its entirety.
3. That this Bylaw comes into full force and takes effect on the date of third and final reading.

**WHEREAS** notification of this Bylaw was circulated to area landowners within 1/2 mile and it was advertised in the Strathmore Standard two (2) weeks prior to the public hearing date.

**WHEREAS** a Public Hearing was held September 11, 2012 at the Wheatland County office.

**BLAND MOVED** First Reading of Bylaw 2012-75, on July 16, 2012, this being a by-law for the purpose of adopting an Area Structure Plan to provide a comprehensive framework for development.

Carried.

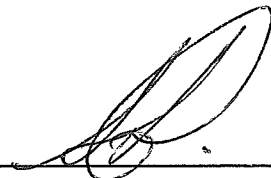
**BLAND MOVED** Second Reading of Bylaw 2012-75 on September 11, 2012 and it was

Carried.

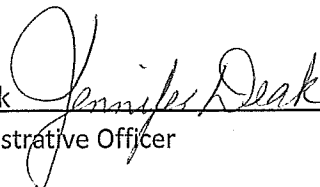
**ARMSTRONG MOVED** Third and Final Reading of Bylaw 2012-75 on September 11, 2012 and it was

Carried.

Glenn Koester  
Reeve



Jennifer Deak  
Chief Administrative Officer



# AREA STRUCTURE PLAN

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## Acknowledgements

The Project Team would like to thank the Hamlet of Cheadle Residents and Stakeholders, and the following groups and individuals for their input, advice and contribution to this ASP:

Wheatland County Council	Reeve Glenn G. Koester, Deputy Reeve Ben C. Armstrong, Alice Booth, Ken Sauve, Don Vander Velde, Berniece Bland, and Brenda Knight.
Wheatland County Staff	Linda Henrickson, Kim Sandbeck, Gareth Webster, Dave Churchill, and Mike Ziehr.

## Project Team

Dillon Consulting Limited	Alex Taylor, Jagdev Shahi, Martina Braunstein, Scott McMillan, Eric Hertzman, and Katy Lepine.
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## Part A: Introduction



# AREA STRUCTURE PLAN

## 1.0 Introduction

### 1.1 The Planning Hierarchy

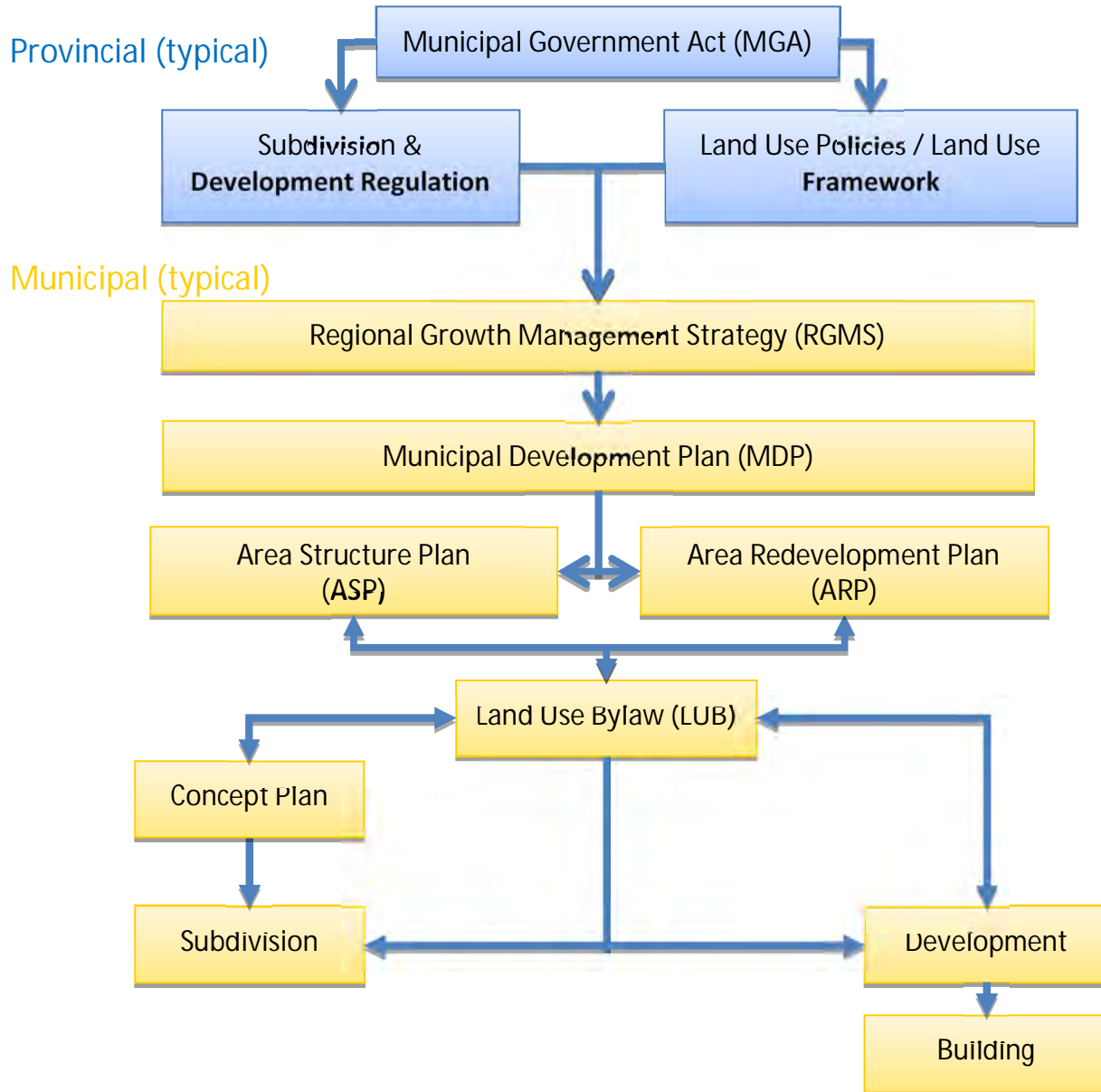
In Alberta, Land Use Planning is administered under the *Municipal Government Act* (MGA). Two documents are set by the Province to provide municipalities with a process to follow: the Land Use Policies, and the Subdivision & Development Regulation. The Province has also recently approved a new framework for planning land use at a regional level within the province: the Land Use Framework (LUF). Through this new process, regional land use plans will be created over the coming years, and municipal land use plans will be required to conform. Wheatland County is located within the South Saskatchewan River Basin, and the South Saskatchewan Regional Plan (SSRP) – currently under development – will direct growth and land use throughout much of southern Alberta.

A municipality's Municipal Development Plan (MDP) serves as its principal statutory plan, and is adopted under the provisions of Alberta's *Municipal Government Act*. Other planning tools that are used by the County to direct future growth and land use include the Land Use Bylaw (LUB), Area Structure Plans (ASPs), Area Redevelopment Plans (ARPs) and Concept Plans (CPs) or Conceptual Schemes (CSs). Each municipality with a population of more than 1,500 must have an MDP and LUB, while using ASPs, ARPs, and CPs/CSs is not mandatory. The MDP is the overarching policy document approved by the County – all other plans must conform to this plan. Wheatland County has also developed a Regional Growth Management Strategy (RGMS – see diagram on following page) that, while not a bylaw, has been approved by Council to provide further overarching policy direction for all land use planning in the County.

Figure 1 shows planning tools that are typically used in Alberta.

# AREA STRUCTURE PLAN

Figure 1: The Planning Hierarchy in Alberta





## 1.2 Purpose of the Plan

The purpose of the Hamlet of Cheadle ASP is to provide a roadmap for future development for the community of Cheadle located in Wheatland County (the County). It is a policy document adopted by Council that provides general direction for growth over the next 40 years. With such a long-term forecast, it should be reviewed for accuracy and appropriateness every five years.

This ASP provides a greater level of detail than the Wheatland County Municipal Development Plan (MDP), which provides County-wide community planning and development policy, but is not a detailed plan. Detailed planning generally occurs at the concept plan stage (usually prepared by land developers). Using this ASP, the County Subdivision Authority (as defined in the Wheatland County Land Use Bylaw) will consider all future applications in terms of their conformity to the policy direction outlined here.

According to Section 633 (2) of the *Municipal Government Act*, an ASP

a) must describe:

- i. The sequence of development proposed for the area,
- ii. The land uses proposed for the area, either generally or with respect to specific parts of the area,
- iii. The density of population proposed for the area either generally or with respect to specific parts of the area, and
- iv. The general location of major transportation routes and public utilities; and

b) may contain any other matters the council considers necessary.

This ASP addresses each of the items required by the MGA, and reinforces decisions that residents have made when it comes to their Hamlet. It does not propose a detailed sequence of development, lot layout or detailed servicing scheme. This scale of detail is best left for the individual parcel development process and the Development Authority. This ASP also does not establish the rate of change that the Hamlet may see over the coming decades, nor does it specify a date when full development ('build-out') will be achieved. The rate of change will be determined by the free market, including area landowners, and the number of people wishing to live in the Hamlet, which will create demand for homes and services.

This ASP does specify how the Hamlet should grow when the time comes, based on demand for homes and services, and when area landowners wish to develop their land. The ASP uses the community vision that has been created by residents and facilitated by County Administration. This vision provides the foundation for the planning principles that will be applied as planning matters arise. By making incremental decisions that follow the principles in this plan, the vision, goals and objectives of this plan will be implemented, and the Hamlet will continue to grow in alignment with this plan.

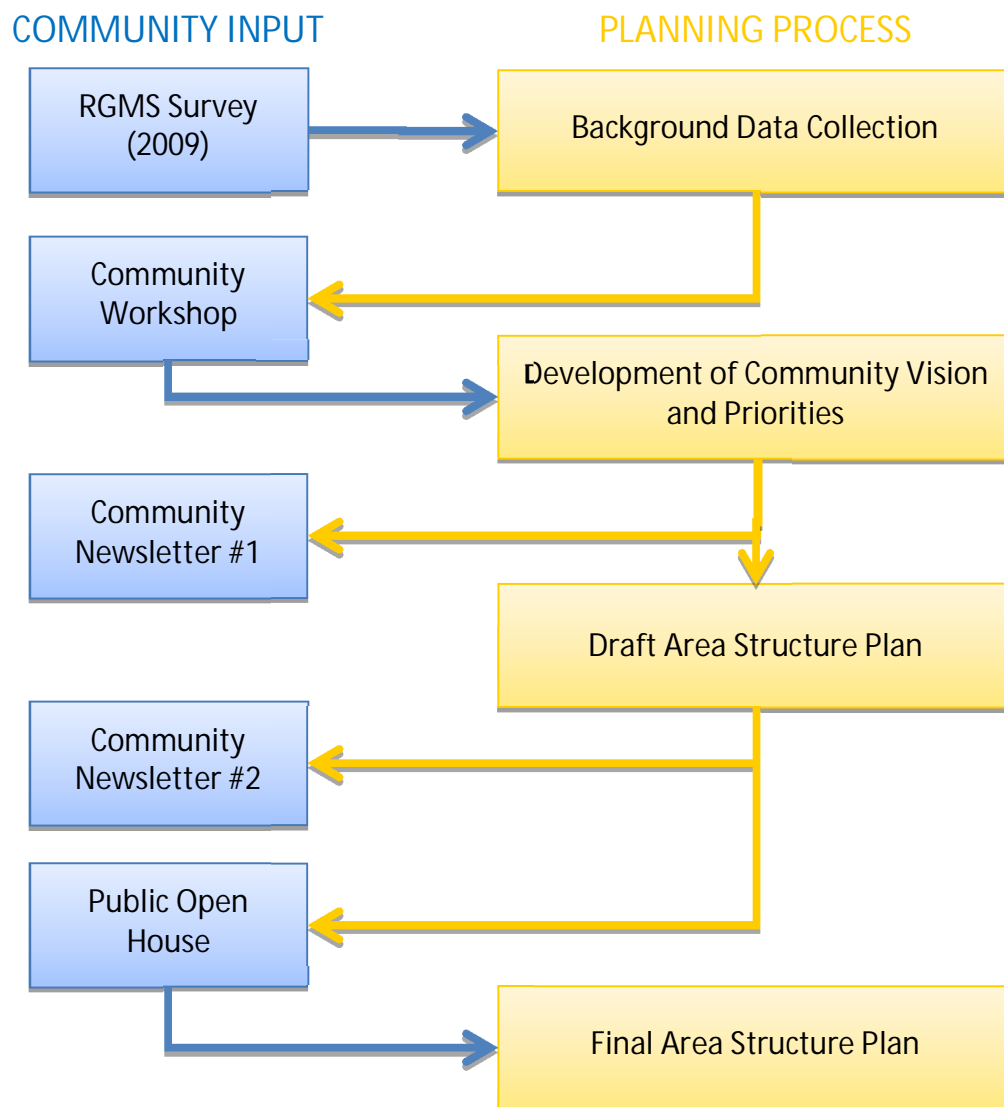
# AREA STRUCTURE PLAN

## 1.3 Interpretation and Implementation of the Plan

This ASP contains policies that include the words “shall”, “should” and “may”. “Shall” policies are those that are mandatory and must be complied with. “Should” policies are those that the County encourages; compliance with the principle is required, but the method and level of compliance is subject to the discretion of the applicable authority. “May” policies are discretionary, with the level of required compliance determined by the applicable authority at that point in time.

## 1.4 The ASP Process

The process of creating this Area Structure Plan is as follows:



# AREA STRUCTURE PLAN

## 1.4.1 Background Data Collection

The first step involved conducting an assessment of the Plan Area through collection of County data and other local information. Results of the 2011 Regional Growth Management Strategy questionnaire that pertained to the Hamlet were used to frame community attitudes towards growth and issues that pertained to planning and development. Once an assessment of current physical conditions and land use was complete, opportunities and constraints for development were identified, which in turn provided preliminary directions and policy to guide future development.

## 1.4.2 Development of Community Vision and Priorities

Once the assessment had been completed by the planning team, a community workshop was held to provide residents with an opportunity to shape the Hamlet's future vision and priorities. After the workshop, a newsletter was sent to residents summarizing "what we heard". The Appendix presents the results of the workshop and the subsequent newsletter.

## 1.4.3 Draft Area Structure Plan

Based on the results of the community workshop, including the community vision and priorities, the planning team drafted the ASP, including Land Use Concepts and key policy directions.

## 1.4.4 Council Workshop

Once drafted and reviewed by County Administration, the ASP's draft Land Use Concept and key policy directions were discussed at a workshop with members of Council at a meeting of Municipal Planning Commission (MPC) on May 8, 2012.

## 1.4.5 Public Open House

After acceptance from Council, the ASP's draft Land Use Concept and key policy directions were presented to the public at an open house at the Cheadle Community Hall on May 15, 2012.

## 1.4.6 Presentation to Council

Based on the results of the open house, the Land Use Concept and policies were revised, and the draft ASP was finalized and presented to Council. Also, residents and stakeholders were given the opportunity to make representations regarding approval of the ASP at a public hearing on September 11, 2012. The ASP was given 3<sup>rd</sup> reading by Council on September 11, 2012. Once approved by Council, the ASP became a statutory plan and bylaw.

## 2.0 Community Context and Trends

Over the past century, many of Wheatland County's Hamlets developed and grew in relation to their location along the Canadian Pacific (CP) railway. Generally these locations contained a layout for the future Hamlet and the development of station grounds and a grain elevator. Not all of the Hamlets filled out their original development scheme. Many of the original hamlet plans of subdivision, while recognized historically, can no longer be completed. Historically, it was decided on a general basis that only the Hamlets which at the time still contained a grain elevator would continue to be recognized by the County as a Hamlet. The MDP continues to recognize these same locations even though some no longer retain their elevators.<sup>1</sup>

### 2.1 Location & Regional Context

Located on Highway 24, approximately 40 kilometres east of Calgary and 10 kilometres west of Strathmore, Cheadle is a small community of approximately 117 people, many of whom commute to Calgary for employment. Map 1 on the following page shows the regional context of Cheadle, and Map 2 shows the ASP Area.



*Recent Residential Development in Cheadle*



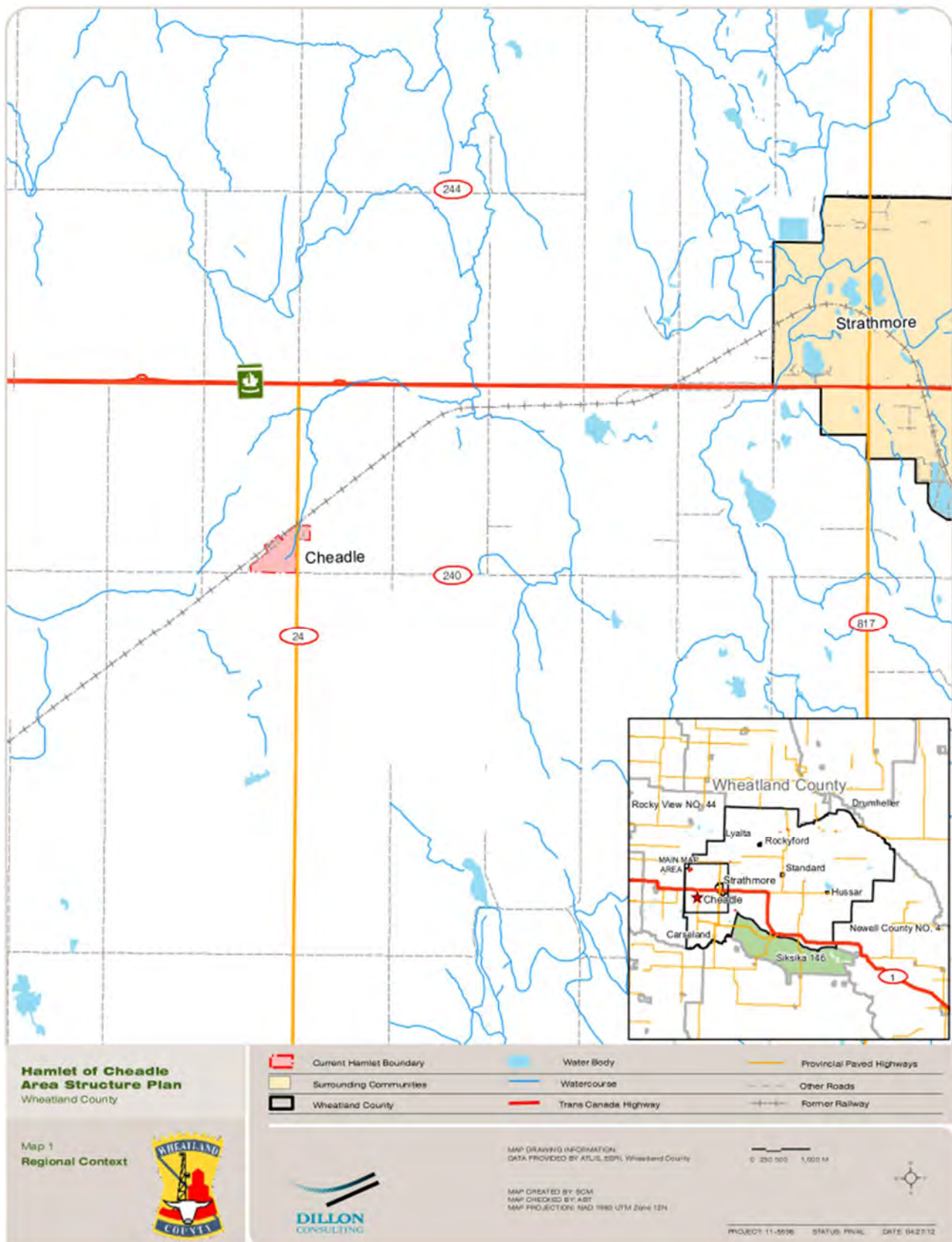
*The Cheadle Community Hall*

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<sup>1</sup> Wheatland County *Municipal Development Plan*, 2006.



# AREA STRUCTURE PLAN





# AREA STRUCTURE PLAN



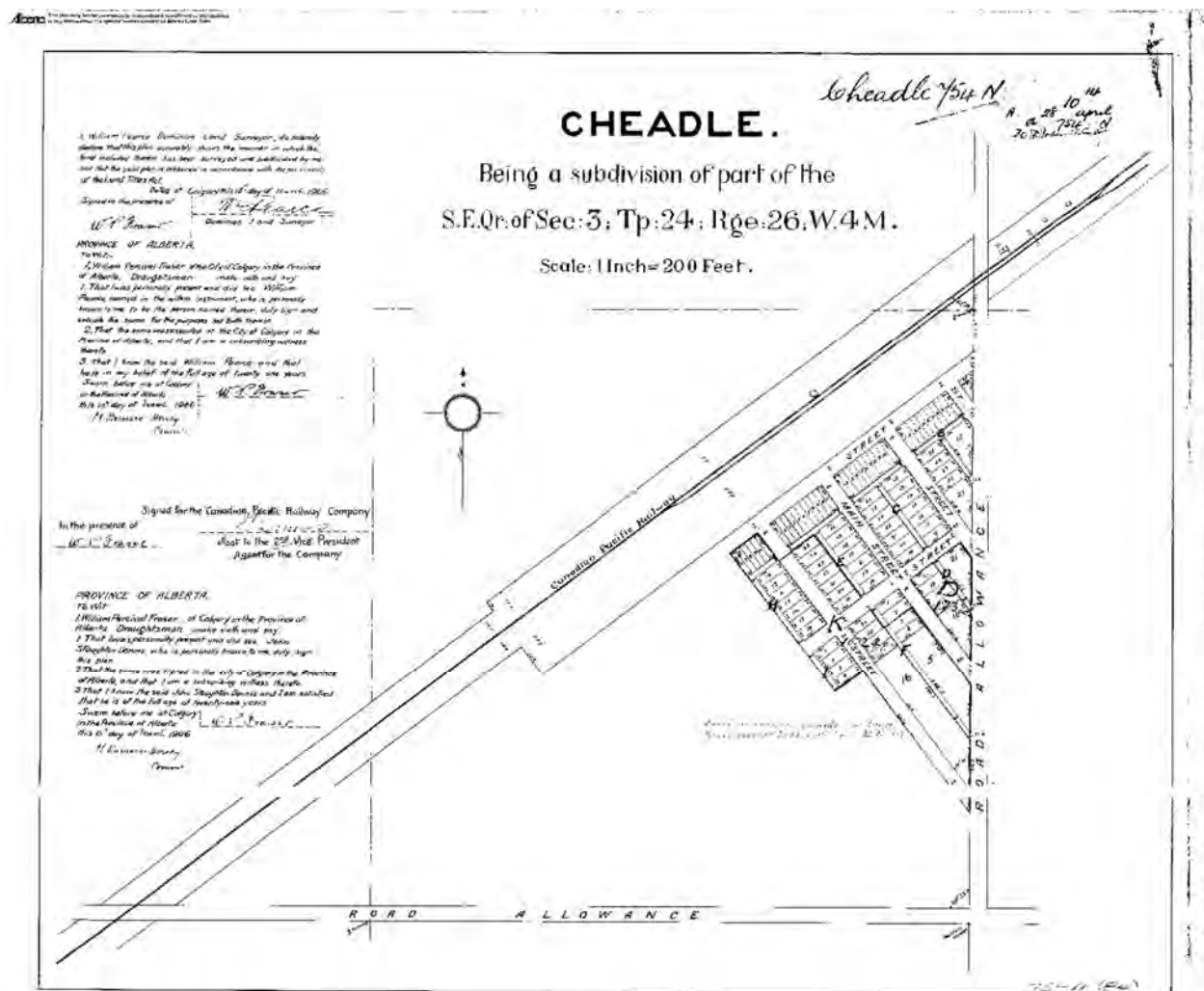


# AREA STRUCTURE PLAN

## 2.2 History

The Hamlet is named after British Medical Student Walter Cheadle, who in 1862 interrupted his studies to join an expedition to western Canada. In 1884, the Canadian Pacific Railway named the siding in this area after him, and over the past century a community with the same name slowly grew. Figure 2 shows a 1906 Subdivision Plan of Cheadle, and Figure 3 (following page) shows a 1917 Road Survey in Cheadle.<sup>2</sup>

Figure 2: 1906 Cheadle Subdivision Plan

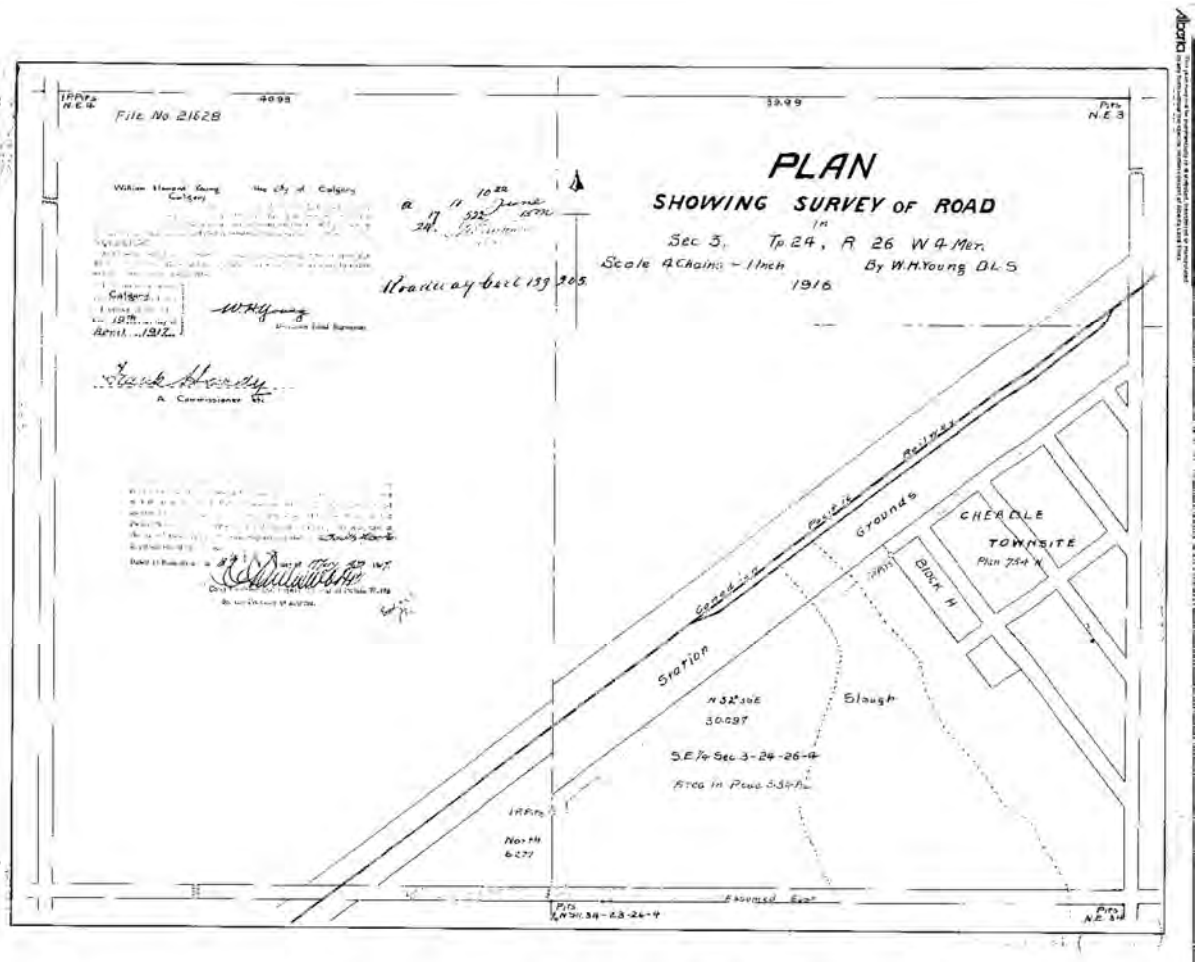


<sup>2</sup> Source: Alberta Land Titles

# AREA STRUCTURE PLAN

In the early 20<sup>th</sup> Century, Cheadle saw growth that included a hardware store, barbershop, blacksmith, restaurant, pool hall, dance hall, three grocery stores, and other businesses. At one time, Cheadle was busy enough to warrant three grain elevators; but these have since closed down and the Hamlet is a shadow of its former "bustling" self, now a bedroom community to Calgary.

Figure 3: 1917 Cheadle Road Survey



## 2.3 Population Growth

Wheatland County's population has been growing slowly but steadily over the past few decades. Estimates of population growth in the County were developed for the 2011 Regional Growth Management Strategy (RGMS), and are illustrated in Figure 4.

Figure 4: Population Growth (Historic & Forecasted) – Wheatland County

Year	1991	1996	2001	2006	2011	2021	2031	2041	2051
Population <sup>3</sup>	5,871	7,017	7,889	8,109	8,285	12,821	16,899	20,599	25,111

As Wheatland County is small and rural, population records are not collected for its Hamlets; however, Cheadle has been growing slowly over the past few decades. Cheadle is identified in the RGMS as one of the County's growth nodes, which would mean it is likely to see annual growth rates around 2.8%. Current and projected population growth for Cheadle is shown in Figure 5.

Figure 5: Population Growth – Hamlet of Cheadle

Year	2009	2012	2022	2032	2042	2052
Cheadle	117	119	163	215	283	373

## 2.4 Development Trends

Figure 6 below shows the current housing mix and average assessment of homes in Cheadle. It also shows the number of development permits and subdivision applications that have been approved recently.<sup>4</sup>

Figure 6: Current Housing and Development Trends

		Cheadle
Existing Dwelling Mix	Single	39
	Semi-detached, Fourplex or Apartment	-
Average Assessment		\$363,049
Development Permits Approved <sup>5</sup>	Residential	7 SFD <sup>6</sup>
	Non-Residential	-
Subdivision Applications <sup>7</sup>	Number	-
	Size	-

<sup>3</sup> Historic data from Statistics Canada *Community Profiles* for 1996 and 2001. 2006 population has been revised based on the Boundary Adjustment caused by the annexation of land to Strathmore. Current data from 2011 Census. Future projection based on the "Medium" Scenario developed for the RGMS

<sup>4</sup> Data from the Wheatland County Regional Growth Management Strategy

<sup>5</sup> From 2006 to 2010.

<sup>6</sup> Single Family Dwellings

<sup>7</sup> Numbers are current to April 2010.

## 2.5 Policy Context

There are many existing statutory and guiding documents that apply to Cheadle, all of which are important to understand in order to align the ASP with existing policy and provincial standards. They establish basic guidelines for other planning efforts in the County, and provide a backdrop of existing policies that Wheatland County has developed with support from citizens and ratepayers. Many of the existing policies emphasize:

- proper planning,
- the priority of agricultural land, and
- concentration of development.

This ASP has been developed to follow these existing policies, which have already been subject to public consultation and debate, and have been approved by various levels of government.

### 2.5.1 Alberta Municipal Government Act

The *Municipal Government Act* (MGA) is the provincial legislation that gives municipalities the authority to plan for future development within their boundaries. Section 633(1) of the MGA outlines the role of ASPs in this process:

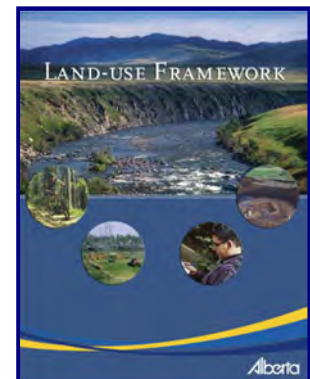
*"...for the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may, by bylaw, adopt an area structure plan."*

ASPs are used to provide a guideline or framework for long-term land use including subsequent subdivision and / or development of an area. An ASP must describe the sequence of development proposed, the land uses proposed for the area, the density of population and the general location of major transportation routes and public utilities. In addition, it may contain any other matters that Council considers necessary. The ASP provides a land use strategy for subsequent redesignation, subdivision and / or development of land in a specific area of the Municipality. As a statutory plan, the County must adopt the ASP by bylaw.

### 2.5.2 Alberta Land Use Framework and the South Saskatchewan Regional Plan

The Alberta Land Use Framework is the keystone policy document to guide all future development in the province, and thus the County. It is a statutory requirement that all future municipal land use documents are consistent with the Land Use Framework. Therefore, this ASP must be consistent with the direction provided by the Land Use Framework, and follow the 'Efficient Use of Land' policy which states:

- *Efficient Use of Land*: minimize the amount of land consumed for urban uses and specifically, minimize greenfield development;





# AREA STRUCTURE PLAN

- *Using Green Technologies:* using technology in all new development which will reduce the impact of the development on the natural environment and systems;
- *Encouraging Higher Density Residential Redevelopment:* where there is the opportunity for redevelopment to occur, this development should be encouraged to be a higher density than the former use of the land;
- *Supporting Development Where Services Already Exist:* development should be prioritized where there is existing, unused capacity available in water, sewer, road, and other infrastructure services; and
- *Planning Land Uses to Reduce the Frequency and Length of Travel through Mixed Use Development:* reduce the provision of transportation services by reducing need by encouraging mixed use development where commercial, residential and industrial land uses are located in close proximity.



As part of the Land Use Framework, Regional plans are being prepared for various areas of the province. Wheatland County falls within the South Saskatchewan Regional Plan (SSRP) Area. Once completed, the SSRP will provide the context for land-use decision-making within the region. The SSRP's Regional Advisory Committee (RAC) is currently in phase two of gathering input from a variety of stakeholders throughout the plan area and beyond.

## 2.5.3 Wheatland County Regional Growth Management Strategy



The Wheatland County Regional Growth Management Strategy (RGMS), adopted in 2011, guides future development in the County for the next 40 years. It aims for growth to be sustainable and consider environmental integrity, social well-being, cultural preservation, and economic prosperity. The RGMS guides clustered development using four categories, defined as Growth Nodes, Rural Community Nodes, Potential Intermunicipal Areas, and a Potential Business Industrial / Commercial Corridor. It also outlines principles of sustainable community development: encouraging clustered, higher-density, multi-lot development; preservation of natural landscape; promoting water conservation and reuse; encouraging 'green infrastructure' in residential and non-residential development; and support for agricultural land conservation.

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Of relevance to this ASP, the key policies identified in the RGMS include:

- For all applications, internal road, including service road, access shall be provided by the landowner/developer at their cost for each of the existing and proposal parcels that are part of the application. All roads are to be constructed to County Standards.
- All applications will be required to connect to existing water/wastewater services where and when available. Each approval will require a deferred service agreement.
- The County promotes residential applications which consider a smaller parcel size and contribute to moving the average housing density in Wheatland County to greater than four (4) units per acre.
- Multi-lot residential applications may provide a mix of housing types.
- All applications shall use land conservation methods to protect productive and viable agricultural lands. This can include the use of smaller parcels, multi-lot clustering, conservation easements, and Environmental Reserve dedication.
- The County supports applications which emphasize the conservation of natural capital (i.e. Environmentally Sensitive Areas), including the maintenance of trees, wildlife habitat, and water features.
- All applications within or adjacent to hamlets and named areas may encourage trail and road linkages to adjacent lands.

Reflective of the Smart Growth, Conservation Subdivision Design and LEED Neighbourhood Design principles, the RGMS recommends the following policy considerations for sustainable community development:

- Protect existing agricultural lands by providing or increasing servicing to existing hamlets and minimize the intrusion of residential development into agricultural lands.
- Minimize the fragmentation of agricultural lands.
- Plan for industrial and commercial development by directing development to designated areas in the County.
- Encourage residential development first in existing serviced hamlets, and then in unserviced hamlets.

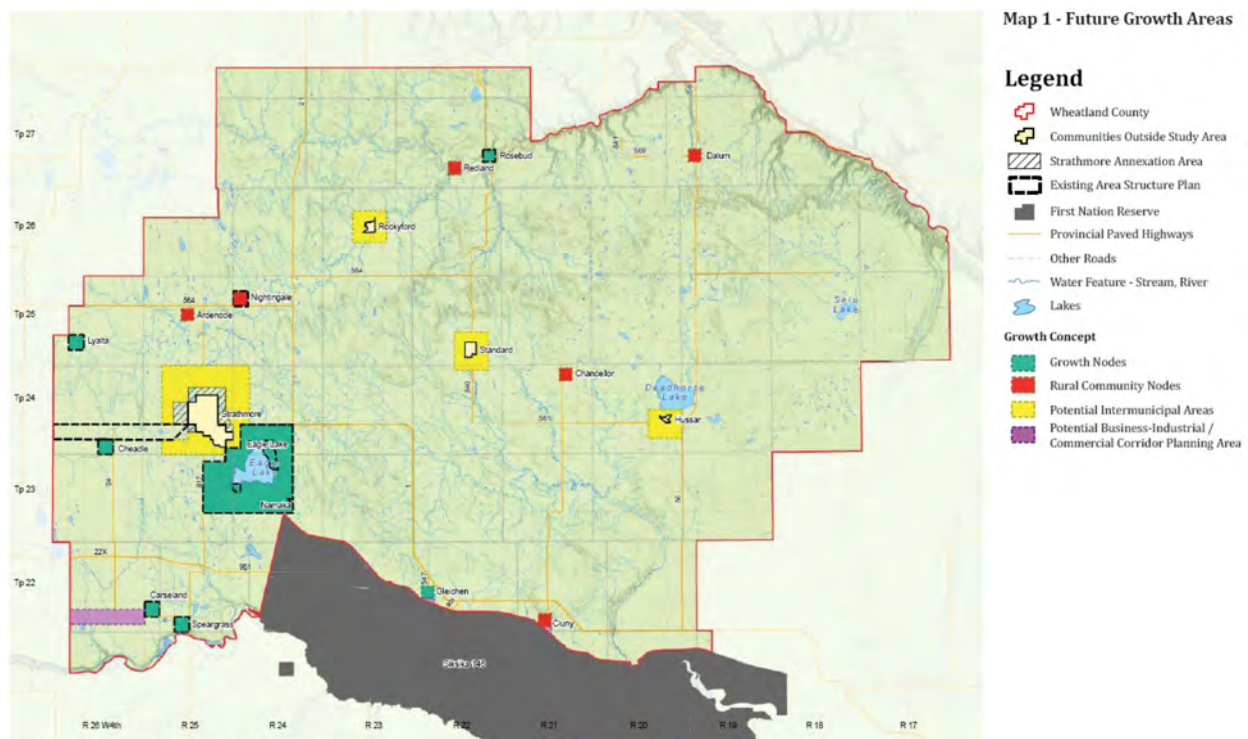
**Table ES-1, Evaluation Results – Community Ranking**

<i>Ranking</i>	<i>Community</i>
1	Speargrass
2	Carseland
3	Eagle Lake
4	Rosebud
5	Gleichen
6	Lyalta & Cluny
7	Cheadle
8	Namaka
9	Dalum & Ardenode
10	Redland
11	Nightingale
12	Chancellor



# AREA STRUCTURE PLAN

- Use of green spaces and buffering techniques to minimize visual impacts on residential development from surrounding uses.
- Encourage compact development, but no existing country residential parcel shall be permitted to be subdivided into parcels that are smaller than the smallest existing country residential parcel within that development to retain the existing character.
- Lands directly adjacent to an existing country residential development need to consider appropriate transitioning techniques (buffering, lot sizes, etc.) to ensure the character of the existing country residential development is not negatively impacted.



## 2.5.4 Wheatland County Municipal Development Plan

The purpose of the Wheatland County Municipal Development Plan is to provide a broad and general overview of the policies governing land use and development in the County. It provides a general picture of what the County is to look like in the future and provides overall direction on how this can be achieved. Adopted in 2006, Wheatland County's Municipal Development Plan (MDP) is a primary level statutory plan and any ASP developed within the County must adhere to its policies and objectives.

# AREA STRUCTURE PLAN

The overall Goal of the MDP reads:

*Wheatland County recognizes its history as an area that has been and is largely dominated by agricultural practices. It also recognizes the increased pressure for residential, industrial and commercial use. Therefore it is the overall goal of Wheatland County to open up to planned diverse developments, while always recognizing the importance of the agricultural industry that is the core of the Municipality.*

Key elements of the philosophy of Wheatland County's MDP are:

- there is potential for areas to accommodate residential development of various densities providing for a first parcel out;
- there is potential for areas to accommodate commercial and industrial developments;
- all developments should take into consideration, firstly, the suitability of the land itself, and secondly, the compatibility with the surrounding existing and future land use and development;
- new development should first consider a location in or in close proximity to existing urban communities forming part of Wheatland County and then in proximity to adjacent municipalities;
- the agricultural industry is the backbone of the County and the protection of land for agricultural practices and related uses will always remain a policy and a major priority; and
- land is a finite resource – all applications will consider the land and the environment with extremely high regard.

Issues and priorities of the MDP that relate to this ASP include:

- The preservation of agriculturally productive lands and the potential for increased residential, industrial and commercial development; and
- Water is the main issue relating to environmental concerns.

# AREA STRUCTURE PLAN

Policy in the MDP that relates directly to this ASP was taken from Section 10.00 Hamlet Development. Its objectives are to:

- Promote development potential within existing Hamlet boundaries. This will apply to all forms of development, not just residential.
- Promote the implementation or upgrade of servicing within Hamlet boundaries through any development proposals.
- Increase the viability of Hamlets.

Its policies include:

- a) Being favourable to development within the boundaries of an existing Hamlet.
- b) Requiring any application for development within a Hamlet to provide an adequate plan for servicing, to the satisfaction of Wheatland County. In addition, the plan will include the method of implementation and it will consider its servicing in relation to the Hamlet as a whole.
- c) Requiring any application for development within a Hamlet to provide for an adequate transportation network, including as needed: vehicle, pedestrian, land, water, and air.

## 2.5.5 Wheatland County Land Use Bylaw

The Wheatland County Land Use Bylaw (LUB) governs development within the Plan Area. Its purpose is to regulate the use and development of land within the County. The LUB will be consulted when considering development in the Plan Area. The LUB and this ASP work in conjunction with each other; the first providing the detailed control regulations within the land uses proposed in this ASP. However, this ASP recommends future land uses which may require bylaw amendments for land use redesignation prior to approval of a development. See Section 13.0 – Implementation for additional information, and recommended amendments to the Land Use Bylaw to assist with implementation of this Plan.

## 3.0 Considerations for Development

Considerations for development can be characterized as either opportunities or constraints. When considered individually, many of the opportunities and constraints used to determine the location and type of development that is appropriate can be accommodated through site planning and design; however, where a number of constraints are identified within a single parcel, suitability for growth is diminished.

*Opportunities* for development are characteristics of the environment that make land more appropriate for development. Costs associated with the provision of deep utility services including sanitary trunk sewers, storm trunk sewers, stormwater management facilities and water supply can be significant, and are considered when identifying land for urban growth. Existing utility trunk services may already have capacity to service certain new growth areas.

*Constraints* to development can exist as part of the environment, and pose a challenge to development. Often, rules and regulations are created to prevent development near constraints. Constructed constraints can exist in the form of Oil & Gas wells and pipelines. Regulations in each case prevent development and protect residential areas from potential nuisances.

Considerations for development have been divided into four (4) areas:

1. Land Use,
2. Servicing (transportation networks, potable water, sanitary sewer, stormwater, and emergency servicing),
3. Natural (topography, geology, soils, hydrology and drainage issues, and environmentally significant areas), and
4. Human-built (oil and gas operations).

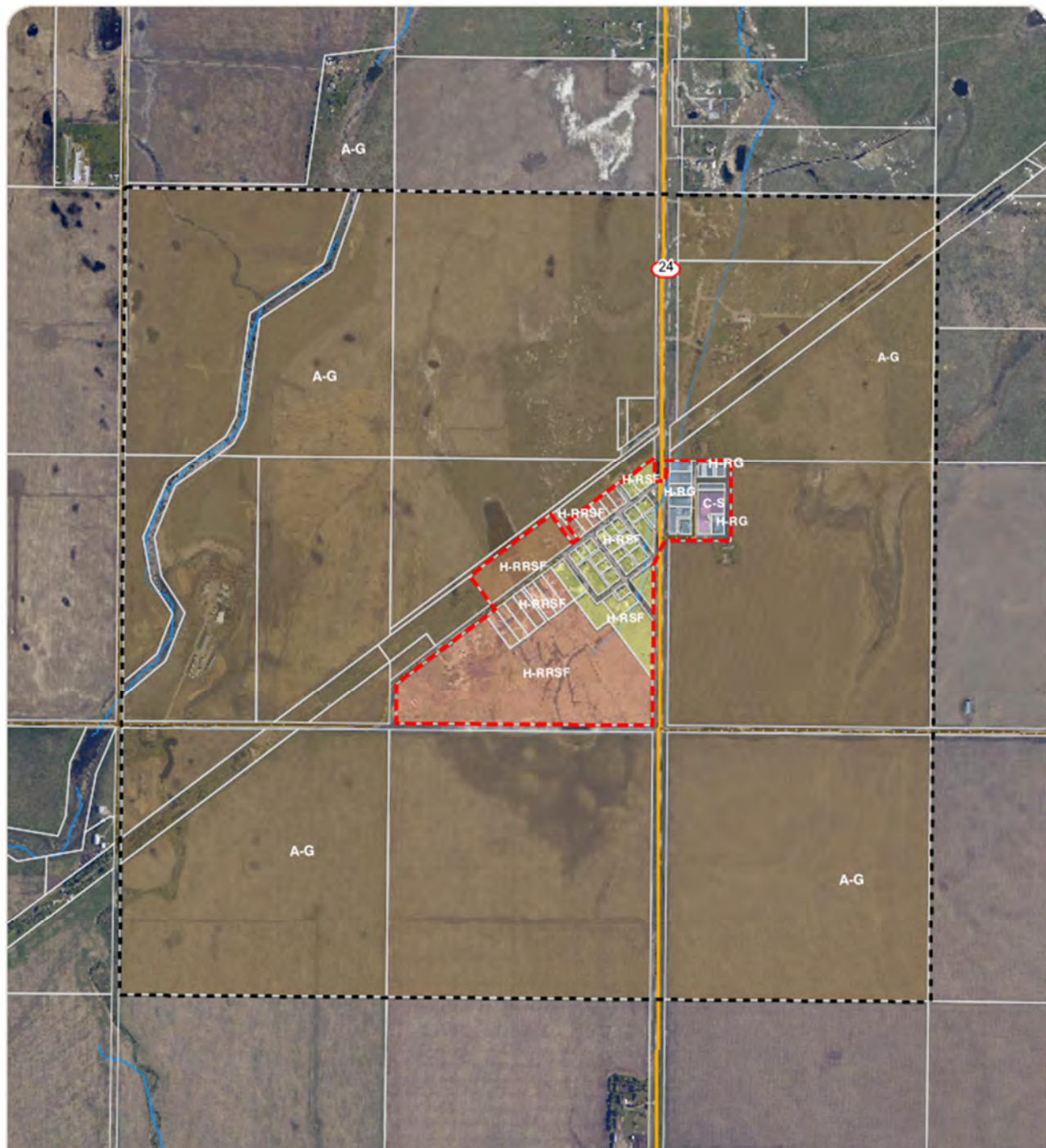
### 3.1 Land Use

Current land use in Cheadle is predominantly restricted residential single family (H-RRSF), situated in the south end of the community and accounting for more than half of its land base. The majority of the existing residential homes are clustered within a residential single family (H-RSF) designated area, with residential general (H-RG) grouped in the northeast of the Hamlet. There is one parcel, located in the centre of the general residential area, with a community services designation (H-CS) – this is where the Hamlet's Community Hall is located. Current land use is shown on Map 3. The former railway right-of-way at the northern edge of the Hamlet has mostly been sold and is agricultural land use, with the exception of a small parcel which has been subdivided for residential use. Additional land use constraints and opportunities are detailed further in this section.





# AREA STRUCTURE PLAN



**Hamlet of Cheadle  
Area Structure Plans**  
Wheatland County

Map 3  
Current Land Use



Watercourse	Current Hamlet Boundary	H-RG Hamlet - Residential Gen.
Provincial Paved Highways	H-RSF Ham. - Res. Single Family	H-RRSF Ham. - Restricted Res. S.F.
Non Paved Road	CS Community Service	
Plan Area	A-G Agriculture General	



MAP DRAWING INFORMATION:  
DATA PROVIDED BY ARJIS, ESR, Wheatland County

MAP CREATED BY: SCM  
MAP CHECKED BY: ABT  
MAP PROJECTION: NAD 1983 UTM Zone 12N

9:51 515 185 229 M



PROJECT 11-5896 STATUS FINAL DATE 04/2/12

## 3.2 Servicing

### 3.2.1 The Transportation Network

Transportation corridors and networks are important when looking at development within a Hamlet. They are the arteries of a community, allowing for movement of people and goods. The transportation network through Cheadle consists of Provincial Highway 24, Township Road 240 and 240A, and a network of local streets. The provincial government regulates setbacks from provincial highways, and thus future development in proximity to the transportation system will need to follow provincial regulations for Highway 24 and also policies in this ASP.



### 3.2.2 Potable Water, Sanitary Sewer, and Stormwater Servicing

The Hamlet of Cheadle obtains water from individual wells. Typically, each resident has their own well that discharges into a personal holding tank for on-demand use. Wastewater is discharged through individual septic tanks and fields. Stormwater is conveyed through a series of ditches and culverts. Groundwater yield for Cheadle is classified as poor (<5igpm).

### 3.2.3 Solid Waste

Solid waste disposal in Cheadle is conducted using a single transfer station system. Solid waste management is provided by DDSWMA (Drumheller and District Solid Waste Management Association) through the transfer station located near Strathmore.

### 3.2.4 Emergency Services

Emergency services are another component that is extremely important to a growing community. Fire response for Cheadle is provided by Strathmore Rural Fire Department. Police service is accessed from the Strathmore RCMP detachment. Emergency Medical Services (EMS) is provided by WADEMSA (Wheatland and Adjacent Districts Emergency Medical Services Association) and accessed from the Strathmore EMS. Emergency services providers have identified no constraint to development based on provision of emergency services.

## 3.3 Natural Considerations

Natural considerations can include bedrock and surface geology, agricultural land capability, environmentally sensitive areas, and valued historical resources.

### 3.3.1 Topography,

Much of Wheatland County is generally flat, with some rugged topography in the east entering into the badlands and Drumheller. The Cheadle ASP Area lies within a typical flat prairie landscape with minimal variation.



### 3.3.2 Soils

The Land Suitability classification for agriculture within the Plan Area ranges from having no limitations to very severe limitations. Areas with severe limitations usually occur along waterbodies; otherwise, the remaining land is capable of sustainable crop production.

### 3.3.3 Hydrology

Hydrology is a very important natural condition in Cheadle. While there is only one watercourse that crosses the Cheadle ASP Area, there are a number of springs within the Plan Area, and a number of low-lying areas and potential wetlands. Drainage is generally poor in the ASP Area. A number of other low-lying areas—considered potential wetlands—were identified by residents through the community engagement process.

### 3.3.4 Historical Resources

Historical Resources are identified by the Alberta Culture & Community Spirit *Listing of Historical Resources*. This listing identifies lands that contain or are believed to contain historic resources, primarily archaeological and paleontological sites, Aboriginal traditional use sites, and historic structures. The *Alberta Historical Resources Act* may require that any proposed activity likely to threaten the integrity of a historic resource be preceded by a Historic Resources Impact Assessment (HRIA), and the resource is avoided.

The land surrounding Cheadle has not been identified to contain any historical resources, and therefore the *Historical Resources Act* should not apply to development plans in Cheadle.

### 3.3.5 Environmentally Significant Areas: Vegetation and Wildlife

Environmentally Significant Areas (ESAs) are defined as “landscape elements or places, vital to the long-term maintenance of biological diversity, soil, water or other natural processes, both on-site and in a regional context.”<sup>8</sup> Most ESAs contain special features and/or themes that relate to the protection and conservation of biodiversity, and can be classified as being of regional, provincial or national significance. Either an environmental assessment or environmental overview is recommended prior to development to identify potential impacts to the natural features and possible mitigation measures.

While there are no ESAs in the vicinity of Cheadle, the presence of the creek and significant habitat for three sensitive and protected species (under the *Species at Risk Act*) within 3 kilometres of the community, may require future environmental studies to be conducted. Although the creek and low-lying areas within and near Cheadle are not official ESAs, they should be considered in any future land use plans. An environmental assessment is recommended prior to development to further classify the two bodies of water and to determine the presence / absence of suitable habitat for species-at-risk.

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<sup>8</sup> Bentz et al., 1995

## 3.4 Human-built Considerations

### 3.4.1 Confined Feeding Operations

Confined Feeding Operations (CFOs) are regulated under the *Alberta Agricultural Operation Practices Act* (AOPA) “to ensure that the province’s livestock industry can grow to meet the opportunities presented by the local and world markets in an environmentally sustainable manner.”<sup>9</sup> While there are CFOs consisting of chicken, dairy and/or horse operations located north of Cheadle, growth in Cheadle is not expected to impact or be impacted by any of these.

### 3.4.2 Oil and Gas

The oil and gas industry is a key economic sector of Alberta, and the wells and pipelines in Wheatland County are a testament to this. While oil and gas development can often limit the development potential of surrounding land, it can also be directly impacted by other types of development. For mainly health and safety reasons, the Alberta Energy Resources Conservation Board (ERCB, formerly the Energy and Utilities Board [EUB]) sets standards and policies that must be adhered to when a parcel of land is developed.



Although there are no wells within the current Hamlet boundary, there are 13 wells within the Plan Area. Within a one kilometre radius of the current Hamlet boundary, there are a total of 19 ‘sweet gas’ wells. Of these 19 wells, 1 is drilled and cased, 7 are flowing, 4 are abandoned, 1 is a gas testing well, and 6 are unknown. There are also 4 pipelines within one kilometre of the Hamlet: all of which are natural gas and operating.

As regulated by the ERCB, active ‘sweet gas’ wells have a development setback of 100 metres, and development around pipelines is permitted up to the right-of-way. These constraints can be seen on Map 4: Opportunities and Constraints. According to provincial policy, all development and subdivision applications must be submitted to the ERCB as well as the pipeline/well carriers for review to ensure that setbacks are met and that the pipeline and well owners are made aware of potential development around their infrastructure.

As regulated by the ERCB, setbacks are established around abandoned wells; wells that may be abandoned in the future will require similar setbacks at such time. To allow for maintenance, protect the site, and avoid construction or excavation damage, the ERCB recommends a setback consisting of a 10-metre by 15-metre work area surrounding an abandoned well. The setback boundaries should be established so that the well is no less than 5 metres from the setback boundary. An 8-metre access to this setback area is also needed.<sup>10</sup>

<sup>9</sup> NRCB, Memorandum of Understanding, 2006, [www.nrcb.gov.ab.ca/downloads/documentloader.ashx?id=11462](http://www.nrcb.gov.ab.ca/downloads/documentloader.ashx?id=11462)

<sup>10</sup> Additional information on regulating abandoned wells can be found here:

[http://municipalaffairs.gov.ab.ca/am\\_advisory\\_land\\_use\\_planning\\_notes\\_on%20abandon\\_well\\_sites.cfm](http://municipalaffairs.gov.ab.ca/am_advisory_land_use_planning_notes_on%20abandon_well_sites.cfm)

# AREA STRUCTURE PLAN

## Policies

1. Setbacks from active wells      A development setback of 100 metres shall be enforced for all current and future sweet gas wells in the Plan Area.
2. Setbacks from active pipelines      Development shall be permitted up to the right-of-way of current and future sweet natural gas pipelines.
3. Setbacks from abandoned wells      A development setback consisting of a 10-metre by 15-metre work area surrounding any abandoned wells shall be enforced. An 8-metre access to this setback area is also needed.

### 3.4.3 Wastewater Treatment Facility

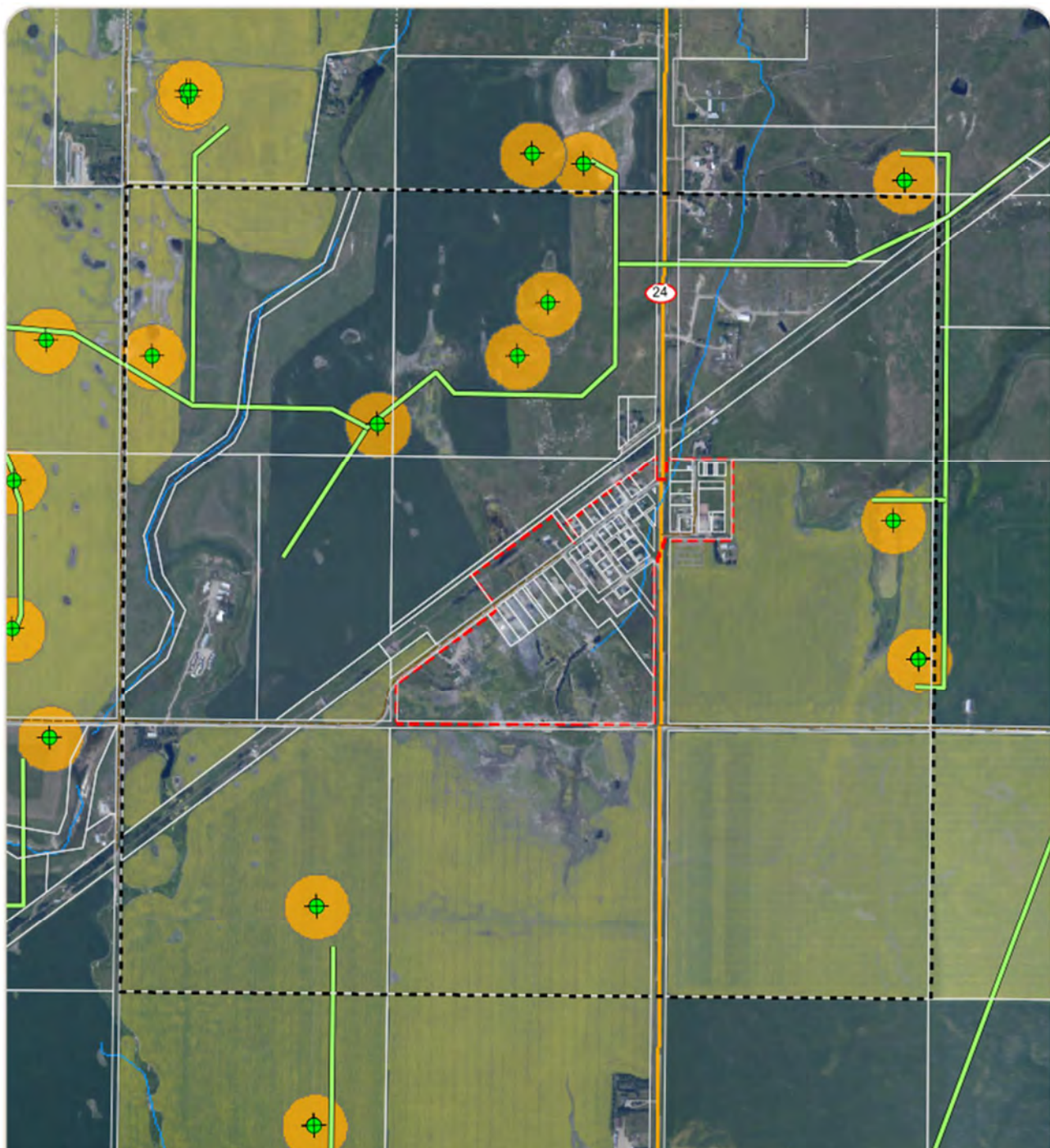
Cheadle currently treats wastewater through individual septic systems located on each owner's property. These do not have any associated setbacks; however, should a communal system be needed for expansion in the future, a 300 metre setback may be regulated by Alberta Environment and Water. This is important to consider for future growth and expansion of wastewater services in the Hamlet. Should this occur during the life of this Plan, the following policies will apply, to deal with proposed development within a regulated setback from a facility.

## Policies

1. Impact on Residential Development      Should a Cheadle wastewater treatment facility (a lagoon) be built and become regulated by Alberta Environment and Water, residential uses shall not be located within 300 metres, as stated in the Alberta Subdivision and Development Regulation.
2. Impact on Commercial or Industrial Uses      Should a Cheadle wastewater treatment facility (a lagoon) be built and become regulated by Alberta Environment and Water, Commercial and/or Industrial uses may be considered within 300 metres of the facility, as stated in the Alberta Subdivision and Development Regulation.
3. Circulation      Applications for redesignation, subdivision or development in proximity to a future wastewater treatment facility shall be circulated to Alberta Environment and Water for comment and review in accordance with the "Standards and Guidelines for Municipal Waterworks, Wastewater and Storm Drainage Systems".



# AREA STRUCTURE PLAN



**Hamlet of Cheadle  
Area Structure Plan**  
Wheatland County

Map 4  
Opportunities and  
Constraints



	Oil or Natural Gas Well		Pipeline		Plan Area
	Watercourse		Non Paved Road		100 m Setback from O&G Well
	Provincial Paved Highways		Current Hamlet Boundary		Property Parcels



MAP DRAWING INFORMATION  
DATA PROVIDED BY ARLIS, ESPR, Wheatland County

MAP CREATED BY: SCM  
MAP CHECKED BY: ABT  
MAP PROJECTION: NAD 1983 UTM Zone 12N

0 50 100 150 200 M



PROJECT 11-0006 STATUS: FINAL DATE: 04/2/12

## Part B: Our Vision for Community Sustainability

# AREA STRUCTURE PLAN

During the development of any community plan, involving residents is of utmost importance. For this reason, the ASP Project Team set out to engage Hamlet residents early in the process, to confirm community priorities and a common vision for the future. In January 2012, a Public Workshop was held at the Cheadle Community Hall. Almost 40 interested residents and landowners participated and shared what they would like the Hamlet to look like in the future. Through the workshop, Hamlet residents were able to share what they like best about Cheadle, and what they think could improve. These insights were used to validate PART A of this ASP and, using the results, the project team developed a new Community Vision.



In Community Planning, three pillars of sustainability are commonly used: the economic, social and environmental aspects of society. These three themes are often referred to as the “triple bottom line,” and are used by many governments in decision-making. The public workshop held in January 2012 was based on these themes and, to guide the development of this ASP, visions for each were developed and disseminated for feedback to residents in a newsletter in March 2012.

This section includes the new Community Vision, and visions for the three pillars of sustainability. Using these as a foundation, objectives and policies were also developed. Overarching policies can be found in this section, and many policies included in PART C were developed to further support these visions.

## Community Vision for Cheadle

*Cheadle is a small, quiet, bedroom community, with convenient access to the amenities of Calgary and Strathmore. It is a place where neighbours are respectful and involved in their community, and residents enjoy a rural lifestyle, low crime and the feeling of open space. In the future, Cheadle will continue to grow slowly, building on its serene character, while helping to accommodate new residents in a variety of housing types. Cheadle will be a well-planned, residential community for people of all ages, including families and seniors, with well-developed pedestrian-oriented services and parks. The community will see economic growth with improvements to the local ecosystem, through protection of existing trees and limiting growth in sensitive areas.*



## 1.0 The Natural Environment

Wheatland County has identified environmentally sustainable and responsible development and management as a priority, and this is supported by Cheadle residents. Residents treasure their local environment from a recreational, aesthetic, and ecological perspective. Based on the Public Workshop held in January 2012, the following vision for the Natural Environment was developed:



*Natural areas, including tree stands, native grasses, flowers, waterways and wetlands, are very important aspects of the natural environment in Cheadle. They provide stormwater management and drainage features, promote recreation activities and provide wildlife habitat. The County recognizes Cheadle's unique environment and encourages clustered development, limiting the size of new residential lots, protecting environmental reserves and creating parks around sensitive areas.*

### Objectives

- A. Maintain a high quality of life through the protection and preservation of significant natural features;
- B. Wherever possible, conserve and incorporate environmentally significant features into the green space, utility and transportation systems;
- C. Promote environmental sustainability principles (such as clustering) in land use planning decisions and development practices; and
- D. Support initiatives that increase awareness and public involvement in environmental management and conservation.

### Policies

1. Environmental Sustainability      The County encourages new projects in Cheadle to incorporate environmental sustainability initiatives and trends such as green building, reusable energy sources (e.g., solar-powered street lights & sign boards).
2. Natural Features and Wetlands      The County encourages protection of existing wetlands and natural features in Cheadle through designation as Environmental Reserve, or environmental or conservation easement.
3. Air Quality      The County encourages ensuring that air quality is addressed in all new development.

# AREA STRUCTURE PLAN

4. Water Quality Discharge of stormwater into natural wetlands and tributaries shall be managed through the establishment of stormwater ponds for all new subdivision and / or development of land.
5. Stormwater Management All new development proposals must ensure that groundwater and surface water flow is not significantly altered. All new developments shall submit detailed stormwater management plans as part of their approval.

## *Clustered Development*

Clustering is an approach to development that can help protect environmental features. By placing new buildings on smaller, grouped lots, the remaining land can be conserved in its natural or cultivated form, which can be used for wildlife corridors, recreational activities, agriculture, trails, or open space. Clustered subdivisions provide a positive alternative to traditional subdivisions, especially in a rural setting. Conservation Subdivision Design is further detailed in Part C, Section 2.0.



An example of a clustered Community<sup>11</sup>

<sup>11</sup> Image Credit: G. Dyer.

## 2.0 Economic Development

To ensure the economic sustainability of Cheadle and create an attractive place for economic development, it is important for the County and the community to find a balance between attracting new businesses and maintaining a rural, agriculture-based community. Based on the Public Workshop held in January 2012, the following vision for economic development in Cheadle was developed:



*Due to its proximity to Strathmore and Calgary, development of the Hamlet's economy would benefit from local opportunities such as a coffee shop, corner store or gas station, small home businesses and related small-scale commercial uses. Industrial uses and large box stores do not fit the character of Cheadle and should not be encouraged within the Hamlet. New community-level commercial development should be planned for where and when they can be connected to water, sewer and other required infrastructure, and should be set back from existing residential uses, and accessed from Highway 24.*

### Objectives

- A. Ensure an adequate supply of residential and commercial land where appropriate;
- B. Support local businesses if opportunities present themselves; and
- C. Conserve and protect characteristics of the Hamlet that reflect its unique history and rural character.

### Policies

1. Supporting Local Business      With cooperation from Hamlet residents, the County encourages—through education of the benefits, advertising, and creativity—shopping locally for a healthy local economy.
2. Promoting Tourism              The County shall encourage the growth of the local economy through the promotion of tourism, and support of local and regional initiatives which Hamlet organizations and residents are involved in, where appropriate.
3. Naming                              The County will work with prospective developers to utilize names of local pioneers when naming streets and developing neighbourhoods.



## 3.0 Community Services

Community services encompass a broad range of protective and support services provided to the community as a whole, and to individuals. These services help make Cheadle a safe place to live and work, and give residents the opportunity to enjoy a high quality of life. Services to support growth also include 'hard' infrastructure such as roads and pipes. Based on the Public Workshop held in January 2012, the following vision for community services was developed:

*Growth in Cheadle will require improved services such as water, sewer, and expanded utilities (such as internet) and emergency services. Management of stormwater and groundwater is extremely important, and new development will require Master Drainage Plans and hydrological studies. In the future, Cheadle will likely be able to support expanded recreation facilities (such as a recreation centre, an improved skating rink, a skateboard park, more playing fields, a basketball court, bike paths, or a dog park), and a senior care facility.*



### Objectives

- A. Ensure opportunities are available for all residents to enjoy a high quality of life and participate in their community; and
- B. Provide residents with a safe living environment through the effective provision of protective and emergency services.

### Policies

1. Recreation Facilities  
Any future recreation facilities should be:
  - a) Strategically located, providing easy accessibility within the Hamlet boundaries;
  - b) Allow for integration of outdoor and indoor recreation opportunities;
  - c) Easily accessible to all areas of the community by pedestrian and vehicle; and
  - d) Compatible with the local neighbourhood design.
2. Waste Management, Recycling & Composting  
In addition to the municipal solid waste collection program, the County shall promote reducing waste through recycling and composting education programs. New development shall seek to reduce the creation of waste materials through reuse, recycling, and other sustainable practices.
3. Protective Services  
The County shall continue to ensure that sufficient levels of fire and police services are provided to Cheadle residents.



## Part C: Land Use Plan and Policies

## 1.0 Proposed Land Use Plan

This section contains the Land Use Plan and specific land use policies to direct growth and development in the Plan Area. Although this plan is intended to provide direction for development over the next 40 years, it should be reviewed for appropriateness every five years. Based on the Vision and Objectives of this Plan, a



Future Land Use Concept was developed for Cheadle. It outlines where it is best to situate the land uses most likely to develop in the Plan Area over the 40-year timeframe of this ASP. Each new land use (e.g., residential and commercial) was considered in terms of its merits and whether it would meet the vision and objectives of the community. The proposed land uses reflect the desires of County Council and Staff, and various stakeholders, residents, and landowners alike.

### 1.1 Population Horizon

The Wheatland County Regional Growth Management Strategy (RGMS – see Part A, Sections 2.3 and 2.5.3) included population projections for Cheadle, which assumed that future growth rates in Cheadle would be consistent with historical growth rates. However, if developed to maximum build-out in accordance with the land use structure and policies in this ASP, in the long-term, the Plan Area could accommodate a community of approximately 289 to 2,469 people without servicing (maximum, at 1 UPA), and up to 9,520 with servicing (maximum, at 4 UPA).<sup>12</sup> It is anticipated that the rate of development within the Plan Area will be a function of both market demand and the ability of individual development proposals to resolve the issues identified in this Plan.

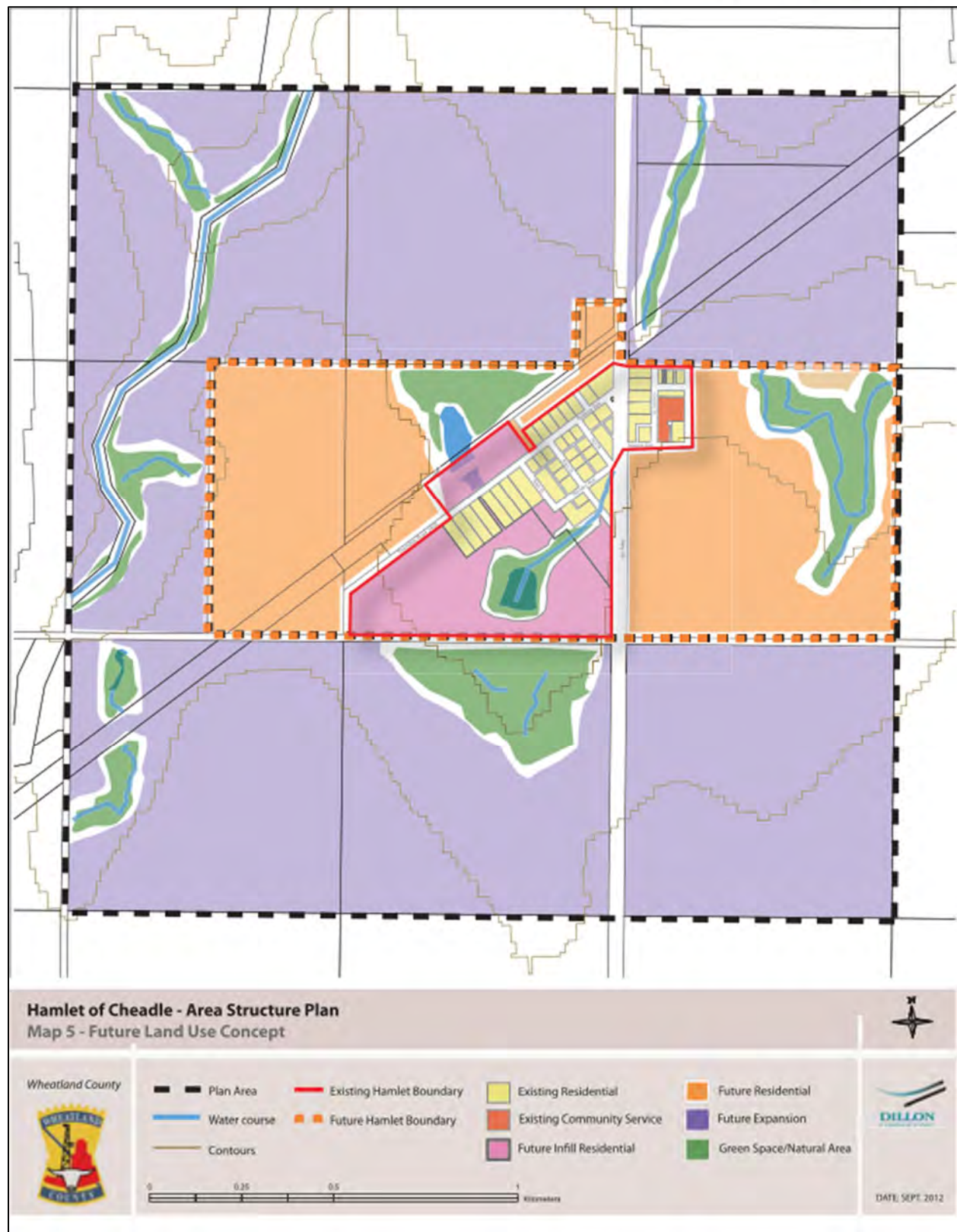
### 1.2 Land Use Concept

The Future Land Use Concept (see Map 5) identifies generalized land uses and their approximate boundaries within the Plan Area. It shows the preferred physical organization of land use and the overall land use structure of the community. The concept presented here follows a number of planning directions that have been set by the province and the County, and addresses items brought up by residents and stakeholders during the Community Workshop held in January 2012. The concept is designed to enhance and serve the Hamlet and surrounding community over the life of this plan.

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<sup>12</sup> Using an average household population of 3 persons per dwelling unit, and a range of densities from 0.5 to 4 units per acre.

# AREA STRUCTURE PLAN



# AREA STRUCTURE PLAN

The Land Use Concept for Cheadle is broken into two components:

1. The Hamlet Established Area – This area includes all land within the existing Hamlet boundary such as residential and public service areas. The concept identifies current residential lots in yellow, residential infill opportunities in pink, public service lots in dark orange, watercourses in blue, green space / natural areas in green and approximate development setbacks from these features in white.
2. The Hamlet Expansion Area – This area includes all remaining land within the Plan Area, outside of the Hamlet Established Area. Land identified for future short- to mid-term residential expansion is identified in orange, and land defined for future long-term expansion is identified in purple. Similarly, watercourses are blue, green space / natural areas are green, and approximate development setbacks from these features are white.

Figure 7 provides the percentage of future land uses by land use category for the Future Land Use Concept and Figure 8 outlines the potential population that could be supported within the Plan Area.

Figure 7: Current and Future Land Uses within the Plan Area

Land Use Category	Current			Future		
	Area (acres)	Area (hectares)	%	Area (acres)	Area (hectares)	%
Residential	84.9	34.0	5.8	310.0	124.0	21.0
Public Service	1.9	0.8	0.1	1.9	0.8	0.1
Agricultural	1,310.8	524.3	89.0	-	-	-
Green Space / Natural Area	-	-	-	195.0	78.0	13.2
Roads, PUL, water, etc.	75.4	30.2	5.1	75.4	30.2	5.1
Infill Opportunity	-	-	-	47	18.8	3.2
Future Expansion	-	-	-	870.0	348.0	59.1
Total	1,397.6	559.0	100	1,399.3	599.7	100

Notes: For Figures 7 and 8, please reference Map 5: Future Land Use Concept. All area calculations are approximate and should be considered as "more or less". Hectare and acre calculations may vary due to conversion. For future land use, the residential category includes both current and future residential land.



# AREA STRUCTURE PLAN

Figure 8: Potential Future Population within the Plan Area

Land Use Category	Area		Potential Population					
	Acres	Hectares	0.5 UPA (2 acre lots)	1 UPA (1 acre lots)	2 UPA (0.5 acre lots)	4 UPA (0.25 acre lots)	6 UPA (0.16 acre lots)	8 UPA (0.125 acre lots)
New Residential	100.6	40.2	116	232	465	930	1,394	1,859
Future Infill	46.7	18.7	54	108	216	432	647	863
Future Expansion	870.0	348.0	1,005	2,010	4,019	8,039	12,058	16,078

Notes: UPA = Units per Acre. The development area for New Residential, Infill and Future Expansion (net developable land) is estimated by removing any Environmental Reserves, and land that is required for roads, utility lots, and Municipal Reserves, which is typically 23% of gross developable land. The potential population is calculated using an average of 3 people per household (Provincial average is around 2.6, but as a family-focused community, Cheadle is expected to have a higher value). Five development densities are provided; densities higher than 1 UPA could only occur if servicing were provided in Cheadle. The Wheatland County RGMS (2011) directs all future growth to have an average of 4 units per acre.

## 1.3 Principles of Development

The land use policies contained within this ASP are to be applied within the Plan Area identified on Map 5. The following general objectives and policies apply to the entire Plan Area.

### Objectives

The major objectives for future development within the Plan Area are as follows:

- A. Provide a high quality of design and development for all components of the Plan Area including residential and recreational uses and method of servicing.
- B. Address standards of servicing that, in the long term, are environmentally sustainable.
- C. Provide, where appropriate, residential and recreational uses within the Plan Area.
- D. Encourage recreational development that is compatible with the surrounding development and takes advantage of natural physical features and large areas of land.
- E. Ensure the provision of Municipal Reserves.
- F. Establish future highway requirements that will provide for safe and efficient movement of traffic in accordance with the long-term goals of Alberta Transportation.
- G. Develop an efficient internal roadway system.
- H. Address future development in a logical and efficient manner.
- I. Ensure that environmental reserve dedication is provided on lands that qualify in accordance with the County and the *Municipal Government Act* (MGA).
- J. Notwithstanding the distribution of future land use identified in Map 5, site conditions, municipal policies and standards and/or provincial or federal regulations may affect the appropriateness and impair or enhance the development potential of any lands within the Plan Area for the use identified by the Future Land Use Concept.

# AREA STRUCTURE PLAN

## *Policies*

1. Development Proposals All proposals for redesignation, subdivision and/or development shall conform to this Area Structure Plan, and shall meet all municipal regulations and standards.
2. Application of Land Use Policies The land use policies contained within this ASP are to be applied to the Cheadle community, including the existing Hamlet and Hamlet Expansion Area.
3. Adjacent Land Uses Development of lands within the Plan Area (predominantly residential) should be sensitive to adjacent land uses (predominantly agricultural) outside of the Plan Area. Development should occur in a manner that provides an appropriate transition between land uses.
4. Non-Conforming Development Proposals Where applications for redesignation, subdivision and/or development approval propose a land use not contemplated by this ASP, or in the opinion of County Council, is not in conformity of this ASP, Council may:
  - a) Require the proposal to be amended to bring it into conformity with this ASP;
  - b) Refuse the proposal; or
  - c) Request the proponent initiate an amendment to this ASP that would accommodate the proposal.

Where an amendment to this Plan is proposed, it shall be undertaken in accordance with Part C, Section 13 (Implementation) of this ASP.
5. Infill Areas Residential infill development on vacant parcels or redevelopment of under-utilized lots is encouraged to maximize the use of existing roads, utilities, parks and other community services.
6. Home-Based Businesses Home-based businesses of a rural nature, consistent with Wheatland County's Land Use Bylaw, will be permitted provided they are compatible with adjacent land uses and supported by the community.
7. Phasing Hamlet growth shall be developed in sequence or as part of a Concept Plan provided appropriate levels of servicing are available.
8. Pedestrian Connection Development proposals shall include pedestrian connections to and between proposed lots, open spaces and other community amenities.

# AREA STRUCTURE PLAN

## 1.4 Hamlet Established Area

The purpose of recognizing a Hamlet Established Area is to outline an area where redevelopment of existing parcels, or subdivision of existing parcels into smaller residential parcels would be supported in the Hamlet, within the confines of regulations in the Wheatland County *Land Use Bylaw*. The Hamlet Established Area is defined as the area within the existing Hamlet boundary on Map 5.

## 1.5 Hamlet Expansion Area

The Hamlet Expansion Area contains land located outside of the existing Hamlet boundary but still within the Plan Area. It is not the intention of this Plan to promote the premature conversion of agricultural land to non-agricultural uses, and the continuation of agricultural uses is encouraged in the Hamlet Expansion Area; however, this area is suitable for long-term greenfield residential, commercial and community service uses once land in the Established Area has reached full build-out. The Future Land Use Concept (Map 5) identifies areas for Hamlet Expansion; however, it is dependent on a number of factors that need to coincide. They include:

- a) Willingness of the landowner(s) to convert the land from its current agricultural use;
- b) Consolidation of land to allow for accessible well planned development; and
- c) Additional conceptual planning inclusive of residential, commercial, and integration of public lands.

In determining the boundaries for Hamlet expansion, it is pertinent that the Hamlet remain within a contiguous planning unit in order to promote efficient transportation and servicing linkages (where required).

In addition to the General Policies, the following policies apply to the Hamlet Expansion Area.

### *Policies*

1. **Appropriate Land Uses**

Agriculture is encouraged on the Hamlet Expansion Lands through the continuation of existing agricultural operations and the introduction of new general agricultural uses as defined in the *Land Use Bylaw*.

The introduction of intensive agricultural uses (Confined Feeding Operations (CFO) as defined in the *Land Use Bylaw*) is not considered appropriate within the Plan Area. CFOs will continue to be regulated by the Natural Resources Conservation Board (NRCB).

## 2.0 Hamlet Design Considerations

While land use is the major consideration for the future development of a Hamlet, there are a number of aspects of Hamlet development design that have been incorporated in this Area Structure Plan (ASP) to help maintain the Hamlet's rural heritage and feeling, and to provide structure to the Hamlet and its surroundings over the coming decades. This ASP does not supersede the County's *Land Use Bylaw*, but makes general policy recommendations to be noted and considered by any future development proposal. Design Considerations are included here and in other sections within Part C of this ASP.

Design considerations for the Hamlet of Cheadle include:

1. Conservation Subdivision Design,
2. Site Layout and Design,
3. Hamlet Streetscapes,
4. Hamlet Gateways,
5. Residential Lot Size, Housing Mix and Residential Infill (See Section 3.0),
6. Parks and Green Space (See Section 7.0), and
7. Stormwater Management (See Section 11.0).

### *Objectives*

- A. Ensure all new and proposed developments maintain a high standard of design that is consistent with the existing rural residential and agricultural communities.

### *Policies*

- |                                 |  |
|---------------------------------|--|
| 1. Quality of Development Areas | All new development shall present a high standard of site development and architectural character that enhances or complements existing development. |
| 2. Landscaping                  | All new development shall enhance or complement existing streetscapes by providing appropriate high quality landscaping, site and building design.   |



# AREA STRUCTURE PLAN

- |                                  |  |
|----------------------------------|--|
| 3. Parking Requirements & Design | All new and/or proposed development shall provide adequate on-site parking that is accessible and convenient to users. All parking requirements shall meet the minimum requirements of the County <i>Land Use Bylaw</i> .<br><br>All parking shall be designed in a manner that complements the new and/or proposed development, provides clear and easy access to the street system, and discourages “overspill parking” into adjacent areas and streets. |
| 4. Site Lighting                 | On-site exterior lighting of buildings, parking areas and common areas shall be shielded to prevent “lighting spillover” onto adjacent properties.   |
| 5. Emergency Services Access     | Development shall be designed with best practices to provide access for emergency vehicles (i.e., fire, ambulance and police).   |
| 6. Signage                       | Signage shall be sensitive to the character of the community and will not include high mast backlit signs.   |

## 2.1 Conservation Subdivision Design

As outlined in the Wheatland County Regional Growth Management Strategy (RGMS), the goal of Conservation Subdivision Design (CSD) is to protect as much Environmentally Significant Area and/or important culturally significant features as possible within a proposed development while still allowing for conventional subdivision densities to occur.

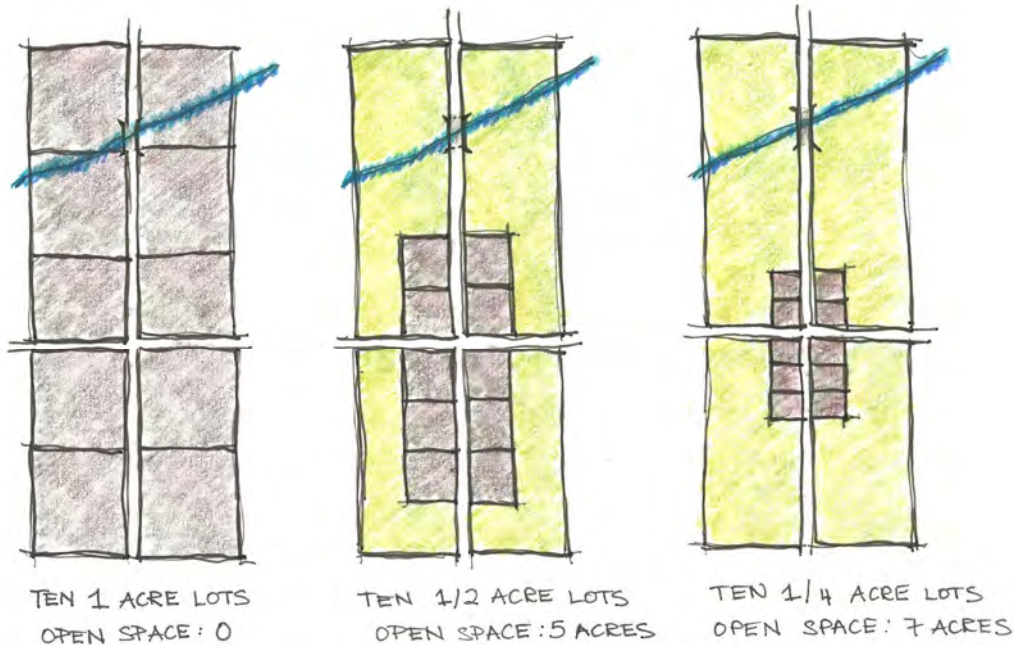
CSD differs from traditional country residential development in a number of ways. First, it sets much higher standards for the quantity, quality and configuration of the resulting open space and developable area. CSD also allows communities to be more involved in the design of new subdivisions and also benefit more than just another pocket of housing. Lands protected from development can also be configured, where feasible, to work towards creating an interconnected network of open space, linking amenities and adjoining subdivisions, and/or providing buffers between new development and Environmentally Sensitive Areas.<sup>13</sup>

Street layout also plays an important role in the physical development of a community. Street configuration dictates traffic flow, parcel size and shape, the utility network, emergency servicing routes, and the pedestrian experience. The principles of Conservation Subdivision Design guide development in clustered form and encourage a grid street network. The grid pattern allows for better circulation for automobiles, cyclists and pedestrians alike.

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<sup>13</sup> Conservation design for subdivisions: a practical guide to creating open space networks, Randall Arendt, 1996.

# AREA STRUCTURE PLAN



*Parcel size vs. green space comparison. The two examples at the right use aspects of Conservation Subdivision Design.*

## Objectives

- Conserve agricultural lands outside the Hamlet and open space within the Hamlet by concentrating Hamlet growth and development;
- Conserve pavement, wires, pipes (shorter distances between lots and buildings);
- Conserve land (small development footprints); and
- Reduce land reshaping and grading, so that native soil is left in place for better establishment of landscape plantings; and
- Ensure Cheadle's streets are laid out in a way that follows the principles of Conservation Subdivision Design.

## Policies

- Conservation Subdivision Design**

All new development within the Plan Area should abide by the principles of Conservation Subdivision Design, including the policies and design considerations included in this ASP.
- Grid Pattern**

All new development should follow a grid pattern of street layout, to create walkable community blocks.



# AREA STRUCTURE PLAN



Image credit: G.Dyer

*Examples of Street layouts using Conservation Subdivision Design.*



Image credit: G.Dyer

## 2.2 Site Layout and Design

The site layout and design is an important consideration in any type of development, be it commercial, residential or industrial. A well designed and planned community exhibits careful thought of the orientation of the building, parking placement, garage location and use of planting material. Such considerations impact the physical and visual experience of a place and add immeasurable value to the environmental, social and economic factors of the community. Sustainable growth balances the environmental, economic, social and cultural aspects of site development.

### *Objectives:*

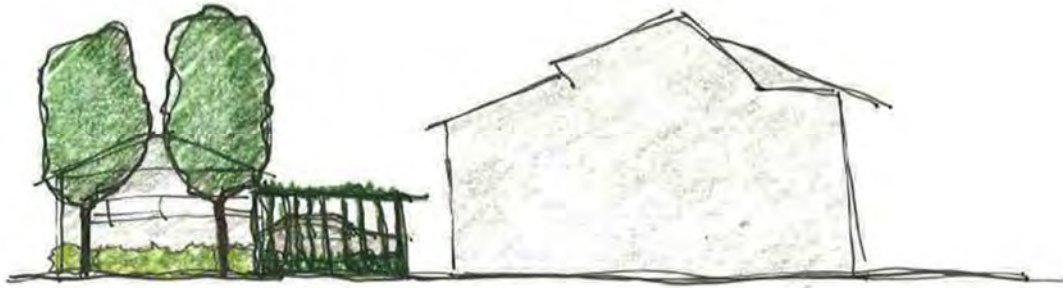
- A. Ensure sensitive site development to minimize disturbances to streams, steep slopes and sensitive vegetation.

### *Policies*

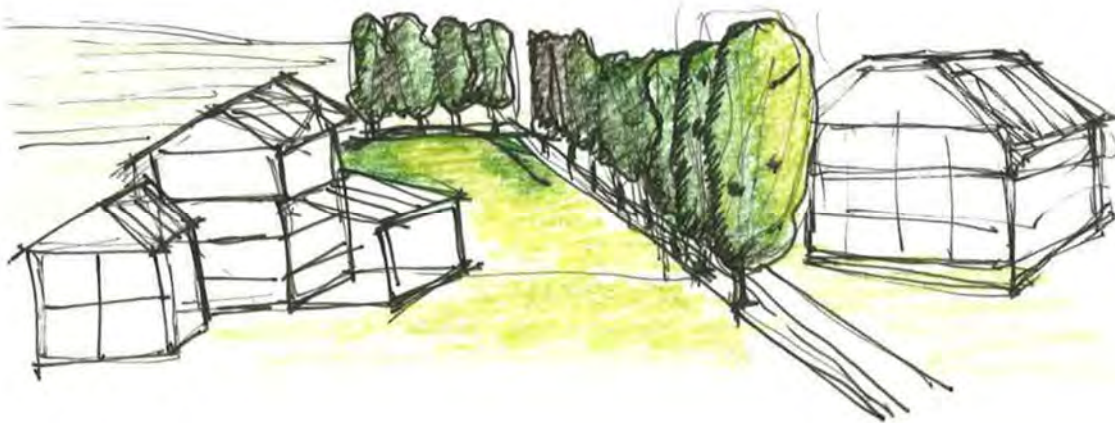
- |                        |  |
|------------------------|--|
| 1. Natural Landscapes  | This ASP encourages preserving all natural landscapes whenever possible.   |
| 2. Housing Orientation | This ASP encourages designing houses to be south-facing to maximize daily sun exposure (passive solar design).   |
| 3. Garages             | Attached and detached garages are encouraged to be placed so as to limit their dominating presence along a residential streetscape.  |
| 4. Sheds               | Sheds and other storage structures are encouraged to be placed where vegetation screening is possible.   |
| 5. Existing Trees      | Existing significant trees, tree stands, and vegetation are encouraged to be incorporated into site design.  |
| 6. Shade Trees         | Trees are encouraged to be planted to help shade the house in the summer.  |
| 7. Parking             | Landscaped islands with trees or shrubs are encouraged to be provided at the end of a parking row in commercial areas. Large surface parking lots are discouraged within the ASP Area. |
| 8. Commercial Parking  | Landscaped areas are encouraged to be integrated with commercial parking lot design to reduce heat-island affect and improve stormwater run-off retention.                             |
| 9. Energy Star         | New houses are encouraged to be designed to meet or exceed Energy Star standards.  |



# AREA STRUCTURE PLAN



*Screening concept sketch*



*Screening streetscape concept sketch*

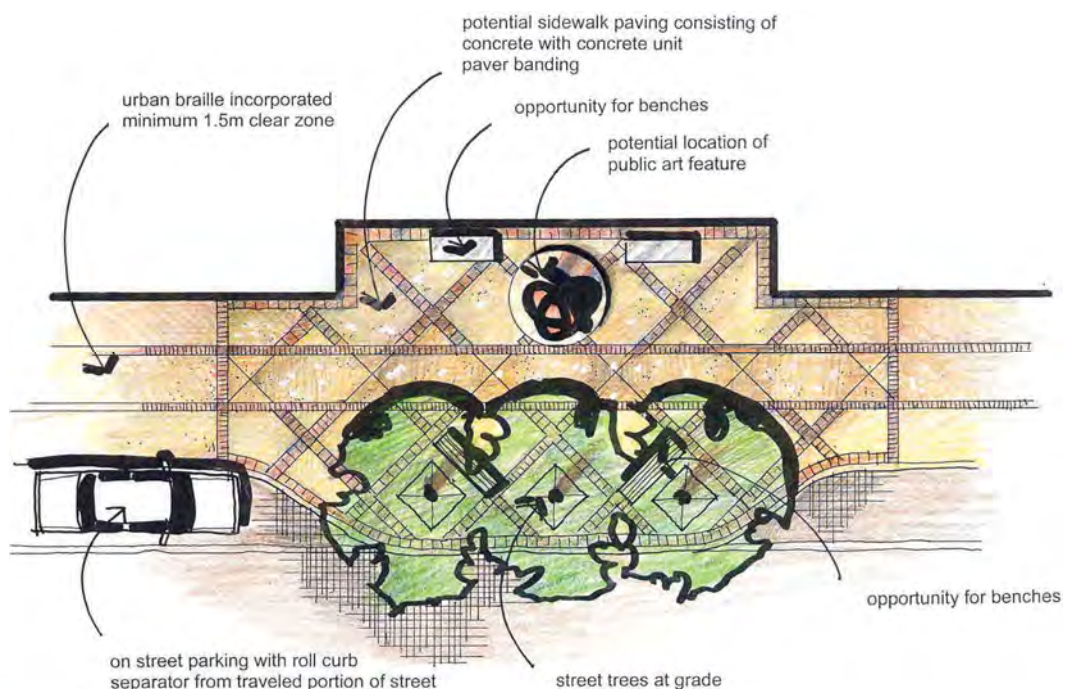
## 2.3 Hamlet Streetscapes

A community's streetscape often defines its identity, the pedestrian experience and the community's ownership of its built environment. Streetscape features can include building façade proportions and treatment, street tree planting, traffic calming, parking considerations, lighting, road design, sidewalk treatments, signage and street furniture. An enhanced streetscape with many or all of these features would help with traffic control, pedestrian safety and overall appearance of the Hamlet. Examples of streetscapes from other small towns are shown on the following page.

# AREA STRUCTURE PLAN



*Examples of enhanced small town streetscapes*





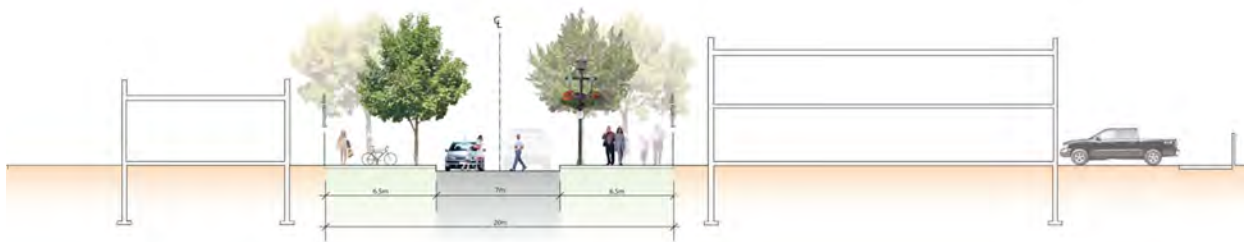
# AREA STRUCTURE PLAN

## Objectives

- A. Foster a unique Hamlet identity;
- B. Promote walkability; and
- C. Ensure streets are designed to accommodate both car and pedestrian movement.

## Policies

- |                               |   |
|-------------------------------|---|
| 1. Sidewalks                  | All streets should be designed with a network of sidewalks, either on one or both sides of the street.                                      |
| 2. Native Species             | Streetscapes should be planted with native species selection  |
| 3. Street Furniture           | New development is encouraged to provide street furniture in the streetscape.   |
| 4. Screening                  | Trees or hedgerows should be used to block or lessen prevailing winds, and screen any undesirable views                                     |
| 5. Traditional Building Forms | All new development should use traditional building forms that complement the current community character.                                  |
| 6. Architectural Detail       | Additional architectural detail should be provided on new buildings, including windows, colours, material variations and surface treatment. |
| 7. Traffic Calming            | New streets should incorporate traffic calming measures, such as pedestrian crossings, landscape islands and other features.                |



*Bump-out Crosswalk Treatment*

# AREA STRUCTURE PLAN



*On-street Parking Treatment*



*Residential Streetscape Treatment*



*Example of Street Furniture*



## 2.4 Gateways

Gateways are the main entranceways into a community that announce and distinguish the point of arrival for both residents and visitors. In Wheatland County, a gateway defines the existence and celebration of a community within the County's vast rural landscape. It can be designed to reflect a specific character or heritage value, and could include design aspects such as a particular treatment of a road corridor, architectural detail in buildings, architectural and landscaped forms or public art. This ASP recognizes that development of Cheadle's gateways will need to involve the County, developers and area landowners. Examples of Gateways in Canada, and sketches of what Cheadle's gateways could look like are shown here.



*Gateway examples in other municipalities<sup>14</sup>*



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<sup>14</sup> Image credits: Spring Canyon, Hines; Town of Taber and <http://canadabadlands.com>

# AREA STRUCTURE PLAN

## *Hamlet of Cheadle Gateway Concept Sketches*



### *Objectives*

- A. Foster a unique Hamlet identity.

### *Policies*

- |                                 |  |
|---------------------------------|--|
| 1. Gateway Development          | All development in proximity to the Hamlet gateways must: <ul style="list-style-type: none"><li>a) Represent the community;</li><li>b) Help delineate that visitors have arrived to the Hamlet; and</li><li>c) Give particular consideration to landscaping and parking screening.</li></ul> |
| 2. Gateway Design and Materials | The Hamlet's gateways should have a low-maintenance design and be designed using local and/or recycled materials from the Hamlet or County.  |

## 3.0 Residential Development

New country residential development will be encouraged and facilitated through this ASP. Accordingly, all residential development in the ASP Area must conform to the planning policies set out in this ASP and the County *Land Use Bylaw*, and are encouraged to locate in areas indicated on Map 5. According to this ASP, the approval of new residential areas is based on the Concept Plan as a method of developing policies for specific areas.



### 3.1.1 Residential Lot Size

With growth comes change, but one of the features residents want to keep in Cheadle is the small-town and rural flavour of the Hamlet. One method of meeting this objective is to maintain the historical lot size that exists in the hamlet today. While Cheadle is currently unserviced and thus the minimum lot size is 1 acre, this ASP promotes the use of small lot sizes to ensure the rural flavour of the hamlet and respect the historical development pattern.

### 3.1.2 Housing Mix

As the hamlet grows over the coming decades, its population is likely to age, following demographic trends in Alberta and Canada. These social trends and needs of an older generation, young professionals and multi-generation families will need to be met with a diversified local residential real estate market. This could potentially translate into housing forms such as secondary suites, semi-detached dwellings, retirement home apartments, or detached garages with rental units on the top floor (known as coach houses and granny flats). The image below illustrates what a mix of housing types in Cheadle could look like.



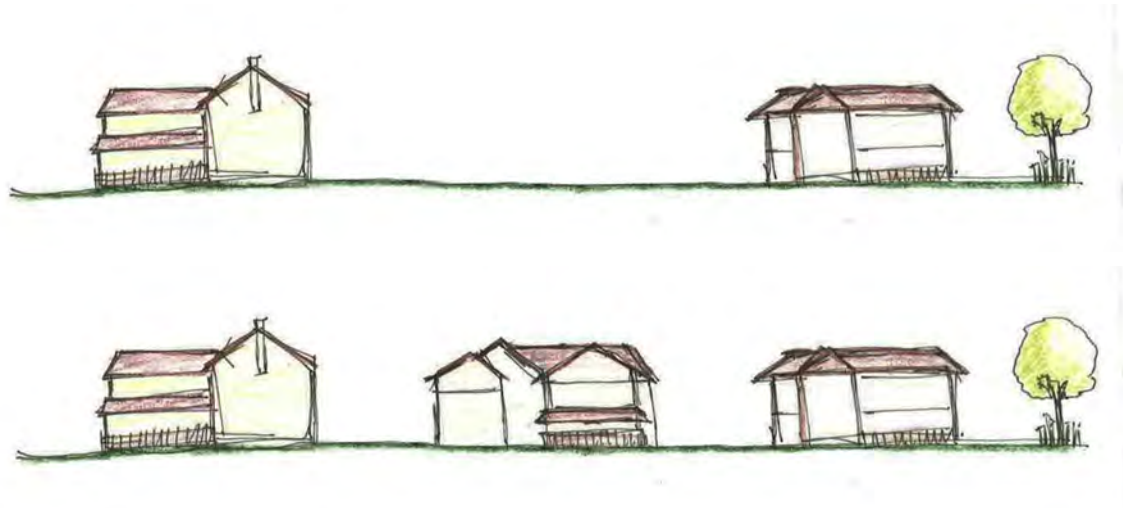
*Concept sketch introducing mixed housing forms to the Hamlet*



# AREA STRUCTURE PLAN

## 3.1.3 Infill Residential

Infill residential refers to development in the existing built fabric of the community – whether on empty parcels of land or previously subdivided large lots. The intent of infill development is to build first within the community cluster where certain services are already in place. Infill opportunities provide a continuous streetscape and a potential for visual variety and excitement within a community. The image below illustrates what infill residential could look like in Cheadle.



*'Before' and 'after' images of residential infill*

### Objectives

- A. Provide for primarily small, country residential properties to maintain the rural character of Cheadle;
- B. Discourage new residential development from areas that should be protected;
- C. Regulate and control negative impacts of new residential development and/or subdivision in the ASP Area, by encouraging compatibility with the natural environment;
- D. Encourage the proper scale and density of residential development that the land is capable of supporting;
- E. Ensure that new residential development is appropriately designed so as to allow for future subdivision if desired;
- F. Encourage residential infill on vacant parcels or redevelopment of under-utilized parcels to maximize the use of existing roads, utilities, parks and other community services; and
- G. Create diverse housing opportunities



# AREA STRUCTURE PLAN

## Policies

In addition to the General Policies for all land uses in Part C Section 2.0: Land Use Concept, all residential development will follow the policies in this section.

1. Location Residential land uses are considered appropriate within areas identified as 'residential' on Map 5.
2. Concept Plan A Concept Plan shall be submitted to support the redesignation and/or subdivision for any new residential development that contains more than three (3) lots. Proponents shall also submit any additional information that the County deems appropriate. New residential areas shall:
  - a) Use innovative neighbourhood design provided they support the objectives of this plan;
  - b) Retain and integrate existing design patterns found within the Hamlet and maintain common design elements from one neighbourhood to the next;
  - c) Provide for an acceptable transition when adjacent to existing development, including similar height, massing and architectural design to the surrounding community; and
  - d) Provide landscaped green space that is safe and secure for residents.
3. New Residential All new hamlet residential development will be single family detached housing, and will require re-designation to Hamlet Residential General (H-RG) or Hamlet Restricted Residential Single Family (H-RRSF) in accordance with the Wheatland County *Land Use Bylaw*.  
  
All new hamlet residential development shall be designed and developed to allow for future subdivision of lots.
4. Housing Type A variety of housing types shall be supported by the County, including single detached and semi-detached dwellings, and secondary suites, in accordance with the provisions of the County *Land Use Bylaw*.  
  
Residential infill shall comprise low-density residential. Medium and high-density residential development is not considered to be appropriate within the Plan Area.
5. Density Residential density within residential infill areas should not exceed 1 unit per gross acre for un-serviced lots, and 4 units per acre for serviced lots, according to the regulations for these districts in the *Land Use Bylaw*.

# AREA STRUCTURE PLAN

6. Site Design      If not proposed at the minimum lot size (1 acre), new residential lots shall be designed, and buildings placed, so as to facilitate future subdivision, should servicing become available in the future.
7. Streetscape      Residential infill should enhance and complement the existing streetscape by providing landscaping, site and building design appropriate to adjacent residential development.
8. Street Pattern      Residential infill should respect the established street pattern by ensuring that the front yard setback is consistent with other buildings on the street.
9. Respect Existing Development      Residential infill shall respect the privacy of adjacent residential areas by proposing development, which considers and limits the potential for over-shadowing and over-viewing of adjacent residential areas.
10. Site Servicing      If a proposed site meets current provincial and municipal requirements, servicing by individual groundwater wells and private sewage treatment systems is appropriate until municipal water and wastewater services are available.
11. Utility Capacity      The County shall ensure that the capacity of existing utility systems, street systems and community facilities are not exceeded by residential infill.



## 4.0 Commercial Development

Based on the Community Vision and the Objectives of this Plan, promoting and supporting community commercial development in Cheadle is not a priority of the ASP. All commercial development in the ASP Area must conform to the planning principles set out in this ASP and the County *Land Use Bylaw*.



### Objectives

- A. Provide for the development of commercial uses that provide services and amenities for rural residents and/or business.
- B. Provide guidelines for maintaining separation between land uses.

### Policies

In addition to the policies included in Part C Section 2.0: Land Use Concept, all commercial development will follow the policies in this section.

- |                       |  |
|-----------------------|--|
| 1. Location           | Small scale commercial land uses are considered appropriate within the Plan Area; however, Map 5 will require amendment if an application were to be made. |
| 2. Public Amenities   | New commercial development shall include public amenities, which may include public gathering places and public washroom facilities.                       |
| 3. Institutional Uses | Institutional land uses (public and private) are considered appropriate within commercial areas.   |

# AREA STRUCTURE PLAN

- |                               |  |
|-------------------------------|--|
| 4. New Commercial             | <p>All new and/or proposed commercial development should be compatible in form and scale to existing residential and non-residential development.</p> <p>All new and/or proposed commercial development shall be designated to an appropriate Land Use District, in the Land Use Bylaw, and shall:</p> <ul style="list-style-type: none"><li>a) not exceed a maximum of two storeys or 10 metres (m) in height;</li><li>b) not create any form of pollution; air, noise or groundwater;</li><li>c) incorporate stormwater control measures that could include roof top storage, reduced lot grading, reduced hard surfaces, grassed channels and/or other approved stormwater retention facilities;</li><li>d) incorporate landscaping into the site; and</li><li>e) incorporate security lighting that is low mast and directed to the structure, as opposed to away from the structure, to reduce light pollution.</li></ul> |
| 5. Environmental Improvements | <p>If further development, or a change of use, occurs on the properties that are currently designated Hamlet Commercial, the owner/developer shall be required to demonstrate environmental improvements to mitigate any negative impact on the community.</p>   |
| 6. Maximum Height             | <p>Commercial development will be a maximum of two (2) storeys in height (10 metres) and constructed in such a manner as to match or complement the rural small town “mainstreet” character of the existing buildings within the Hamlet Area.</p>  |



## 5.0 Business Industrial Development

Based on the Community Vision and Objectives of this ASP, industrial land use is not encouraged in the Hamlet; this ASP recognizes that some light “business” industrial uses related to the agriculture industry, such as a warehouse or staging facility, may be required in Cheadle within the 40-year timeframe of this plan. All future business industrial development in the ASP Area must conform to the planning principles set out in this ASP and the County *Land Use Bylaw*, and are encouraged to locate outside of the Hamlet Established Area (see Map 5).

### Objectives

- A. Accommodate business industrial land use in appropriate locations;
- B. Accommodate agriculture related industrial uses; and
- C. Provide guidelines for maintaining separation between land uses.

### Policies

In addition to the policies included in Part C Section 2.0: Land Use Concept, all business industrial development will follow the policies in this section.

- |                            |   |
|----------------------------|---|
| 1. Location                | Some types of business and light industrial land use are considered appropriate within the Plan Area; however, Map 5 will require amendment if an application is to be made.  |
| 2. New Business Industrial | <p>All new and/or proposed industrial development should be compatible in form and scale to existing residential and non-residential development.</p> <p>All new and/or proposed industrial development shall be designated to an appropriate Land Use District, in the <i>Land Use Bylaw</i>.</p> <p>All new industrial development shall require consultation with Plan Area residents (as required by County staff and time of application) and an amendment to this Plan.</p> |
| 3. Transition Zones        | All industrial development shall be light industrial in nature, appropriately separated, screened and buffered from adjacent non-industrial land use and roads, and meet the criteria established below.  |

# AREA STRUCTURE PLAN

4. Industrial  
Criteria

Any industrial development shall:

- a) Not exceed a maximum of two stories or 10 m in height;
- b) Not create any form of pollution, either air, noise or groundwater;
- c) Not exceed normal hours of operation (7 a.m. to 7 p.m.);
- d) Incorporate flood control measures;
- e) Incorporate emergency services plans and coordinate this with the County and the community;
- f) Incorporate landscaping into the site; and
- g) Provide only low mast or directed security lighting that is directed to the structure, not away from the structure.

## 6.0 Institutional Development



Current and future institutional land uses within Cheadle can include public (civic buildings and public works facilities) and non-public (churches, social organizations, clubs and private schools) buildings.

All institutional developments in the ASP Area must conform to the policies set out in this ASP, the County *Land Use Bylaw* and *Municipal Development Plan*, and are encouraged to locate in Public Service areas indicated on Map 5.

### Objectives

- A. Provide for the development of institutional areas that will provide services to Cheadle Residents.

### Policies

In addition to the policies included in Part C Section 2.0: Land Use Concept, all institutional development will follow the policies in this section.

1. Location
 

Public institutional uses are considered an appropriate land use within areas identified as Public Service on Map 5.

Non-public institutional uses may be considered appropriate within areas identified in the future as 'commercial' or 'business industrial'.
2. Public and Institutional Buildings
 

Future plans for expansion of the Hamlet should include identification of institutional uses as required within commercial or Hamlet expansion land use areas.

These will be suitable for public uses such as libraries, community centres, recreational facilities, theatres; and institutional uses such as churches.

## 7.0 Green Space and Recreation

Green space within a community can have many characteristics and functions. It can provide areas for both active and passive recreation, be used to soften and frame views and vistas, buffer one land use from another, and introduce natural areas and bird and wildlife habitat into a community. Green spaces and recreation facilities foster and encourage interaction among community members, as well as provide venues for individual development. There are many benefits of green space in a community, including contributions to resident health, wellness, and quality of life.

One of the features that residents and stakeholders discussed at length during the ASP community workshop was an improved system of parks, green spaces and trails. As a result, the Future Land Use Concept shows a small but connected system of green spaces and trails, particularly along the historic railway right-of-way, the irrigation canal, and around waterways.

All green space, parks and trails development in the Plan Area must conform to the planning principles set out in this document, and are recommended for areas indicated as Green Space / Natural Area on Map 5.



*Examples of Parks and Green Spaces*

### *Objectives*

- A. Protect natural and unique features, river valleys, and floodplains from inappropriate development;
- B. Provide recreation opportunities for local residents;
- C. Provide visual access to green space, open space and nature; and
- D. Provide visual and social relief in the built form.



# AREA STRUCTURE PLAN

## *Policies*

1. Location      Green space and park uses are considered an appropriate land use within areas identified as 'Green Space / Natural Area' on Map 5. They may also be considered an appropriate use within all other areas of the Plan Area.
2. Paths and Trail Development      Paths and trails should be constructed in conjunction with new development (i.e., constructed by the developer at their cost) to link residential areas to community recreation sites.
3. Design for all age groups      Parks and Green Spaces should be designed to engage all age groups and community interactions.
4. Pathways      Pathway construction may be gravel or crushed limestone (pavement is not required) and will be of a width to accommodate multiple users.
5. Existing Site Conditions      Park design should respect the existing site conditions and natural features, and be designed to reflect the rural character of Cheadle.
6. Transitional Spaces      Transitional spaces, such as the old railway right-of-way, should be used to provide green connections.
7. Trails      A hierarchy of trail surface types should be developed, including gravel, paved, grass, board walk, etc.



## 8.0 Municipal and Environmental Reserve

### 8.1 Environmental Reserve



Environmental Reserve (ER) can be defined as an area of land that, due to its natural sensitivity and risk, should not be developed. Such land can be requested from landowners wishing to subdivide a parcel of land and designated by a municipality as ER, which must be left in its natural state and may be developed as a public park. While Wheatland County does not have development setback or guidelines for ER dedication, this ASP provides some guidance for ER dedication within the Plan Area.

#### *Objectives*

- A. Protect houses and other development from the risks associated with steep slopes, flooding and other natural hazards;
- B. Protect the Hamlet's natural areas and create green space;
- C. Protect and enhance wildlife habitat;
- D. Ensure that areas that qualify as ER are identified at the Concept Plan stage and dedicated at the discretion of the County; and
- E. Ensure ER is dedicated in such a manner that it provides for comprehensive protection of natural features and is not done on an ad-hoc basis.

# AREA STRUCTURE PLAN

## Policies

- |                                       |  |
|---------------------------------------|--|
| 1. Location                           | Areas identified as Green Space/Natural Areas in Map 5, including the creek and poorly drained areas, shall be considered for Environmental Reserve in any future development plans. |
| 2. Process                            | Environmental Reserve (ER) shall be designated in accordance with Section 664 of the Municipal Government Act, and Section 8.1 of this ASP.  |
| 3. Timing                             | The dedication of Environmental Reserve (ER) and/or Environmental Reserve Easement (ERE) in the Plan Area shall be considered by the County at the time of subdivision approval.     |
| 4. Future<br>Environmental<br>Studies | An environmental assessment should be completed prior to development adjacent to bodies of water to determine the presence / absence of suitable habitat for species-at-risk.        |

## 8.2 Municipal Reserve

Municipal Reserve (MR) can be defined as areas of a new community (an approved subdivision) that are dedicated to the municipality for use for school or municipal uses, such as parks and green space. As a school is not projected to be required in Cheadle during the life of this ASP, future MR dedication in Cheadle should be directed to the development of recreation facilities and paths / linkages between these facilities. Future MR should be taken as land, cash in lieu of land, or a combination of the two, as required.



## Objectives

- A. Ensure new subdivisions include a dedication of MR land, which can be used for current green space or recreation uses, or future school and other municipal uses; and
- B. Ensure that MR land is integrated within a Concept Plan and is of use to the County and Hamlet at large.



# AREA STRUCTURE PLAN

## Policies

1. Municipal Reserve (MR)      Municipal Reserve (MR) shall be taken in accordance with the provisions of the *Municipal Government Act* and shall not comprise less than 10% of net developable land or cash-in-lieu. Within the Plan Area, MR may be used to create additional protection along natural features with green spaces where appropriate or a separation (buffer) between potential nuisance land uses.
2. Dedication of MR Land      The dedication of Municipal Reserve (MR) in the Plan Area, either by cash-in-lieu of land, deferred reserve caveat, or by physical dedication of land, or combination of same, shall be determined by the County in accordance with the policies in this Plan.

Lands dedicated for Municipal Reserve should be of similar quality as lands being utilized for development.



## 9.0 Transportation

Mobility is an important consideration that impacts residents' quality of life. Cheadle is strategically located along a provincial highway and near the Trans-Canada Highway (#1). Ensuring the functional integrity and safety of the transportation system are maintained and not impaired by future development within the ASP Area is important, as the potential for land use conflicts exists with future growth.

### *Highway 24*

Highway 24 is a transportation corridor that transects the Hamlet. County discussions with the Province relating to re-alignment and upgrades to Highway 1 have indicated that Highway 24 may not continue to be a provincial highway in the future; however, for the time being, this Plan assumes that it will remain in provincial jurisdiction.

Regardless of jurisdiction over Highway 24, the road will continue to play a very important role for mobility in the area, and this plan needs to ensure its functionality is maintained. It is important to ensure that future land uses within the Plan Area do not impair the function, safety and integrity of the Highway.

### *Growth Directions*

Generally, good planning practice would suggest that a Hamlet should grow only to one side of a highway, reducing the need for traffic to cross the highway. However, in the case of Cheadle, a historical decision was made to allow growth of the Hamlet on both sides of the highway. This Plan follows that previous policy decision. With the potential downgrading of Highway 24 to a County road, the potential challenges that come from a highway transecting the Hamlet are likely to be reduced as well.

### *Access to Highway 24*

During the Community Engagement process, there was extensive discussion about creating a second access to Highway 24 at the south end of the current Hamlet. If it remains a provincial highway, this possibility is unlikely and would need to be approved by Alberta Transportation. However, should the County become responsible for Highway 24, a second access would be a more likely possibility. This Plan proposes this access, which may or may not be built, pending future jurisdictional discussions for the highway, Hamlet growth, and future mobility needs.



# AREA STRUCTURE PLAN

## Objectives

- A. Provide for the safe and efficient movement of people and goods within the ASP Area.
- B. Enhance the mobility of residents by encouraging an integrated network of roads.
- C. Ensure that development within the ASP Area does not impair the function of Highway 24 or the safety of its users, and that potential land use conflicts are avoided or mitigated.

## Policies

1. New Roads All new roads will be constructed to a paved standard as outlined in the County design standards and should provide linkages to adjacent parcels.
2. Highway 24 In accordance with current provincial regulations, there shall be no new direct access onto Highway 24 for the Hamlet. Setback guidelines shall be determined on a case-by-case basis in consultation with Alberta Transportation. Should Highway 24 come under the jurisdiction of the County, this policy would not apply.
3. Access Access for all new lots shall be provided from internal municipal roads.
4. Main Collector Railway Avenue should serve as the main collector road through the Hamlet of Cheadle.
5. Permits Applications for subdivision or development within the Plan Area are required to obtain Roadside Permits and approvals from Alberta Transportation, in accordance with the Subdivision and Development Regulation.
6. Traffic Calming Traffic calming devices, such as speed bumps, may be installed to mitigate traffic impacts.
7. Walkways and Bikeways The County shall integrate pedestrian walkway and bicycle trail systems into street and utility corridors.
8. Low-Mobility Standards Design Standards should incorporate features such as curb-cuts at intersections to accommodate low-mobility residents.
9. Grid Pattern New development shall maintain the historical grid pattern of streets to maintain the “small-town” feeling of the Hamlet.
10. Cul-de-sacs Cul-de-sacs are discouraged and should only be used in the design of neighbourhoods where design alternatives are limited.



# AREA STRUCTURE PLAN

11. Circulation                      Where proposed development is adjacent to Highway 24, the County shall circulate the application to Alberta Transportation for comment.
12. Developer Responsibilities      As a requirement of the Development Agreement and in accordance with County standards, developers shall be responsible for 100% of the cost of new pavement, including construction and paving, required to service an area within the Plan Area proposed for subdivision and/or development.
13. Transportation Impact Assessment (TIA)      For any new or proposed multi-lot development, Council may require a Transportation Impact Assessment (TIA) to be prepared by the developer (at their cost). It shall include (but is not limited to):
- a) The potential impact that proposed uses may have on the existing street system including, but not limited to, anticipated traffic volumes, vehicle types, turning movements and hours of usage;
  - f) Any requirements for future expansion of the existing street pattern that may be required to accommodate traffic generated from the proposed development;
  - g) Any mitigation measures that may be required to ensure that the function and integrity of any part of the street pattern is preserved (i.e., noise attenuation measures, buffering or screening, setbacks); and
  - h) Any other matter deemed necessary by the County.



## 10.0 Servicing and Utilities

Utility services within the ASP Area generally consist of private systems: potable water is acquired through private wells; sanitary sewer collection and treatment is through private septic systems; and other shallow utilities provide services to the ASP Area via private distribution systems.

### *Objectives*

- A. Ensure efficient and orderly provision of services and utilities to Hamlet residents and businesses.
- B. Ensure the utility infrastructure and capacity is available, when required, to accommodate growth.
- C. Ensure utilities are maintained in an efficient manner that minimizes their impact on the environment and protects the health and safety of residents.

### *Policies*

- |  |  |
|--|--|
| 1. Design Standards for Utility Services | All utility servicing within the Plan Area shall be constructed in accordance with the County design standards and the regulations and/or guidelines established by Alberta Environment and Water or the relevant provincial regulatory body.  |
| 2. Servicing Provision                   | <p>As with all development in the County, tying into municipal servicing is mandatory in areas where servicing is available. Servicing may be available in the future in Cheadle, but until that time, all new development must sign a Deferred Servicing Agreement. Until piped municipal services are available, residential development in the Hamlet and Hamlet Expansion Area may be permitted with an individual ground water well and private sewage treatment system on lots with an area of one (1) acre (0.40 ha) or more.</p> <p>Any future municipal servicing system shall accommodate adequate water supply for fire protection.</p> |
| 3. Utility Provision                     | The County shall provide or facilitate the provision of utility services as development of land occurs and in advance of anticipated development. Utility services shall be extended in a logical and economically practical manner and in a manner having regard to the available capacity in the overall system or portions of the system.   |

# AREA STRUCTURE PLAN

4. Rights-of-way and Easements

When considering applications for subdivision approval and or development proposals, the County shall consider the provision of public and private utilities, and may impose conditions of subdivision and/or development approval to ensure that any required rights-of-way and/or easements are provided concurrent with the endorsement of a Final Plan of Subdivision or issuance of a Development Permit and that any costs or responsibility for the extension of these services are the sole responsibility of the proponents of the proposal.
5. Developer Responsibilities

As a requirement of the Development Agreement and in accordance with County standards, developers shall be responsible for 100% of the cost of engineering, construction and initial maintenance of all utility service extensions and upgrades required to service an area within the Plan Area proposed for subdivision and/or development.
6. Cost Recovery

Where the County requires that a utility service requires oversizing to accommodate future growth within the Plan Area, the County will endeavour to recover from benefiting users and/or landowners all construction and operating costs associated with the oversizing.

The County, at its sole discretion, may apply for any provincial cost-shared grant funding to upgrade public utilities required to service areas within the Plan Area.
7. Shallow Utilities

‘Shallow utilities’ refers to the accommodation and provision of distribution systems for electric power, natural gas, telephone and cable television within the ASP Area.

Shallow Utilities shall be provided by the appropriate utility companies providing services to the ASP Area and shall be extended at the sole cost of the developer when subdivision occurs.

The County may impose condition of subdivision and/or development approval to ensure that the required rights-of-way and/or easements to accommodate shallow utilities are provided.
8. Servicing Agreements

A deferred servicing agreement shall be registered against each new certificate of title (lot) created within the Plan Area, requiring the owner to tie into municipal services when they become available.

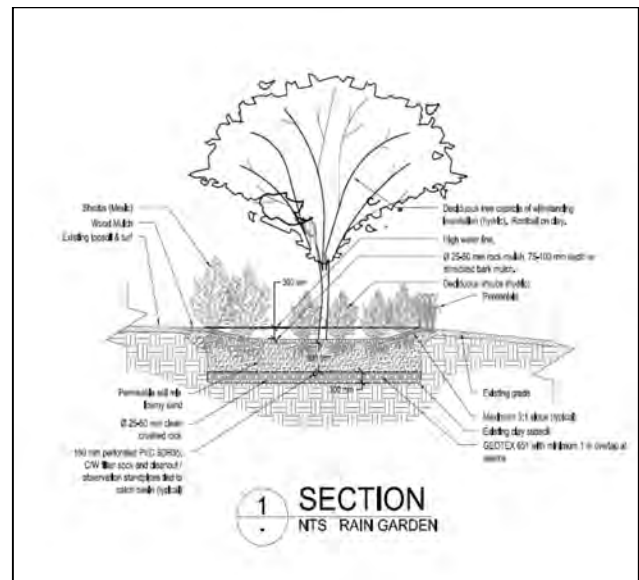
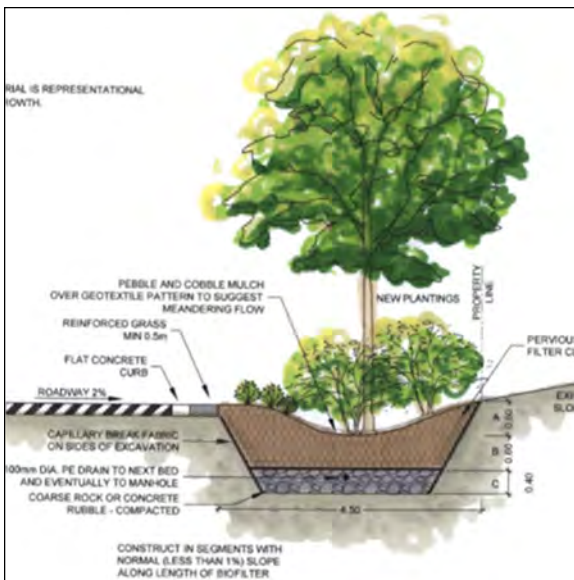


## 11.0 Stormwater Management

Stormwater management is a very important issue in Cheadle, as witnessed by historical challenges and the typically low-lying areas where the original Canadian Pacific Railway (CPR) Stations and Villages were built. This issue was a focus of a number of comments at the ASP Community Workshop in January 2012.

Within the Plan Area, stormwater is retained on the surface in ditches. Any future development within the Plan Area will require studies to address potential drainage issues, and the County will ensure it is able to recover costs for any stormwater management actions through securities.

A number of cities and towns in southern Alberta are building communities that use principles of Low Impact Development (LID) for stormwater. These can include sustainable streetscapes that incorporate innovative stormwater management measures like bio-swales, bio-retention rain-gardens, on-lot bioretention, green roofs, porous pavement and stormwater management ponds. Examples of these best practices are shown on the following pages.



*Examples of rain-gardens – Stormwater management best practices*



# AREA STRUCTURE PLAN



*Example rain garden, based on Low Impact Development (LID) principles*



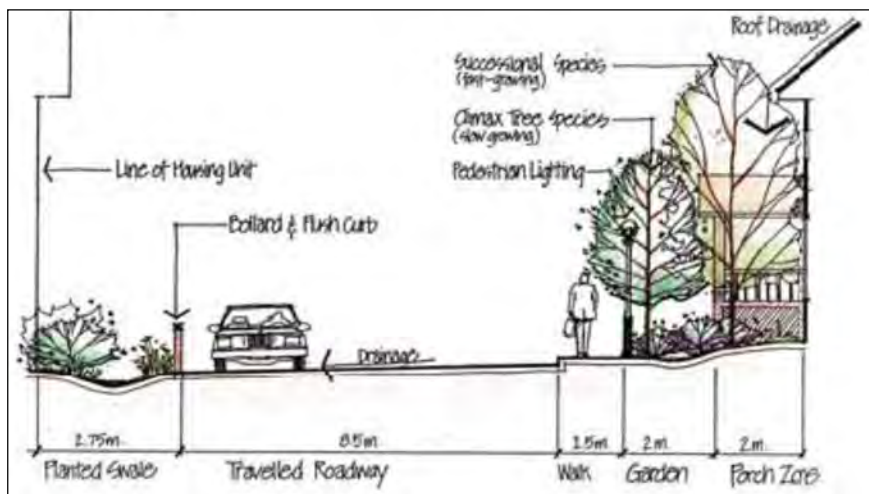
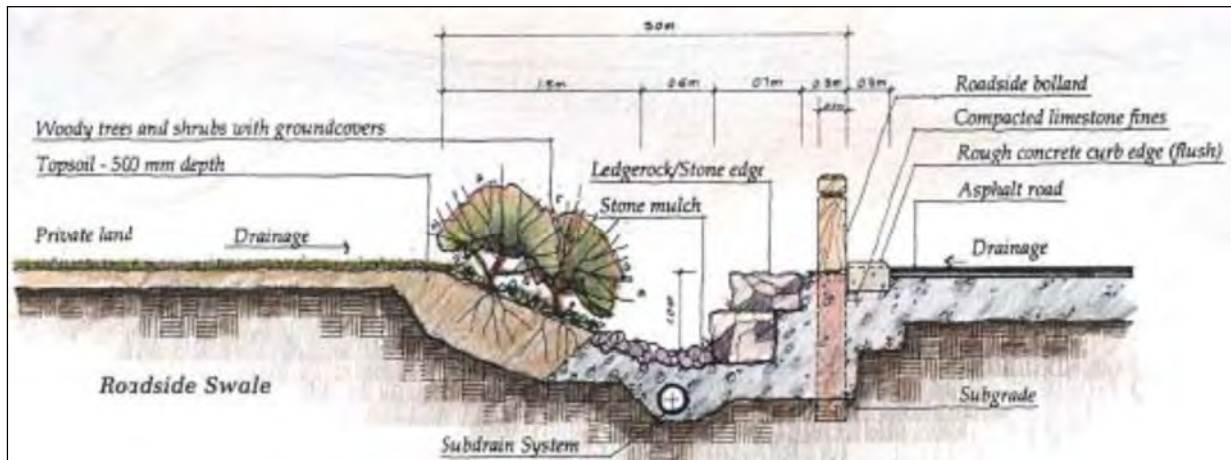
*Re-designed Streetscape (concept and after construction)*



# AREA STRUCTURE PLAN



*Bioretention Swales in Parking Lots*



*Examples of roadside swales, and a rain barrel to conserve water for gardening*



# AREA STRUCTURE PLAN

## Objectives

- A. Ensure efficient and orderly stormwater management within the Hamlet.
- B. Ensure future development manages stormwater appropriately, and that post-development flows do not exceed pre-development flows.
- C. Ensure stormwater management systems are maintained in an efficient manner.
- D. Enhance stormwater management practices and promote the use of best management practices in stormwater management.
- E. Protect water quality and manage water quantity by slowing and filtering stormwater runoff through wetlands and bioretention facilities, helping to maximize soil water infiltration and percolation.

## Policies

1. Stormwater Management  
All proposals for redesignation and subdivision approval within the Plan Area shall be supported by a stormwater management plan prepared by a qualified professional. All storm water management plans shall:
  - a) Address and resolve on-site and off-site stormwater management issues in accordance with Alberta Environment and Water guidelines and regulations.
  - b) Show that the post-development rate of runoff for future developed areas does not exceed the pre-development rate.
  - c) Use “best management practices” that seek to retain as much of the natural runoff characteristics of the stormwater system as possible. These methods can include, but are not limited to, such practices as grassed swales, wet ponds, dry ponds or filter strips.

As a condition of subdivision approval, a final grading plan shall be prepared which is satisfactory to the County. Design of stormwater management systems, final grading plans and grade verification shall be addressed in the *Land Use Bylaw*.

# AREA STRUCTURE PLAN

2. Current Capacity Exceeded Applications for subdivision and/or development within the Hamlet shall address stormwater runoff on a site-specific basis, utilizing, where appropriate, existing stormwater infrastructure. Where such an application(s) exceeds the capacity of existing stormwater infrastructure, the developer shall be responsible for development, provision, and installation of any infrastructure required to address these additional impacts.
3. Cost Recovery (Endeavor to Assist) The first developer to redesignate / subdivide land in the Hamlet Expansion Area shall be required to construct a stormwater pond to address stormwater management from the majority of the lands within the drainage area. The County should consider implementation of an infrastructure cost recovery initiative, to ensure proportionate contributions from subsequent developers.
4. Stormwater Infrastructure Stormwater infrastructure necessary to implement any recommendations of the stormwater management plan shall be:
  - a) Constructed to the satisfaction of the County;
  - b) The responsibility of the developer; and,
  - c) Located on Public Utility Lots (PUL) where applicable.
5. Stormwater Ponds Stormwater ponds should be developed as amenities for the community to enhance the rural character of the area; these ponds should be designed as engineered or naturalized wetlands, and incorporated into the Hamlet green space system when subdivision occurs.
6. Water Conservation The County encourages water conservation and re-use through education programs, and provide guidance towards low-maintenance residential garden designs and rain-barrel water collection.
7. Community Buildings The County and Hamlet shall explore the potential for development of a rain garden around the community hall and other community services lots and buildings.
8. Hard surfaces All new development shall minimize the amount of hard surfaces in landscaping to allow for natural infiltration.
9. Streetscapes Stormwater management measures shall be incorporated into the design of all new streetscapes.

## 12.0 Community Services

Community, protective and emergency services are provided to the Plan Area. To maintain adequate levels of service in the Plan Area, all new development must consider requirement for each of these services.

Police Services	Police service in the Plan Area is provided by the Strathmore RCMP detachment.
Fire Services	Fire response for Cheadle is provided by Strathmore Rural Fire Department.
Ambulatory Services	Ambulatory services in the Plan Area are provided by WADEMSA (Wheatland and Adjacent Districts Emergency Medical Services Association) and accessed from the Strathmore EMS.

### Objectives

- A. Ensure efficient and orderly provision of community, protective and emergency services within the Hamlet.

### Policies

1. Need for Services  
The need for community support and leisure services should be addressed during the evaluation of future subdivision and/or development applications.
2. Monitoring  
The County should continue to monitor (every two years) and review all existing mutual aid agreements to ensure maximum efficiency for emergency service response within the Plan Area.





## 13.0 Plan Implementation

As the Hamlet of Cheadle Area Structure Plan (ASP), approved by Wheatland County, this document meets the requirements of Section 633 of the Alberta *Municipal Government Act* (MGA) by addressing:

- The sequence of development proposed for the area,
- The land uses proposed for the area, either generally or with respect to specific parts of the area,
- The density of population proposed for the area either generally or with respect to specific parts of the area, and
- The general location of major transportation routes and public utilities.

### 13.1 Implementation of the Plan

The ASP will be implemented over a 40-year planning horizon, with amendments as required. The success of any plan depends on the efforts that are directed towards integrating its policies into decision-making. This ASP provides the direction for County Council, Administration and residents to evaluate development proposals, in the context of a long-term plan for Cheadle.

Several measures beyond those specified in this document may also be used by Council to implement this Plan, including adopting new bylaws (such as design guidelines) and administrative procedures (a new application process or fee structure, for example) that will improve the efficiency of implementing policies in this Plan. Implementation of this Plan will require the input, support and cooperation of residents and stakeholders from the private and public sectors. This section outlines policies and procedures to ensure the effective implementation of this Plan.

#### 13.1.1 Roles and Responsibilities

*County Council* exercises its authority within the mandate of municipal governments prescribed by the *Municipal Government Act*. Council has the responsibility of approving the ASP and future amendments to it. Council has the authority to approve the subsequent plans, policies, programs and activities to implement the ASP and to approve the budgets associated with these implementation activities.

*County Administration* operates under the direction of County Council and has responsibility for preparing the subsidiary plans and policies and undertaking the programs and activities that support implementation.

#### 13.1.2 Plan Review and Amendment

As a statutory plan approved by Council, this ASP establishes long term growth management policies for the Plan Area. However, changes in the economy, social fabric, and environmental conditions may alter the sequence or relevance of the policies set forth in this ASP. It is prudent

# AREA STRUCTURE PLAN

to review this document every five (5) years or as deemed necessary by Council, to ensure it meets current development conditions. Although notifications to the public and public hearings are not mandatory when amending a statutory plan, the County will provide an opportunity for consultation. The County has also established a process to enable the public, community groups, adjacent municipalities, boards, commissions, other government agencies, and others to propose changes to this ASP.

## Objectives

- A. Implement the ASP through Concept Plans (CPs) and other development proposals / applications, and ensure consistency between those and the ASP;
- B. Provide guidance on interpreting and applying the ASP policies; and
- C. Provide for periodic review and amendment of the ASP.

## Policies

1. Statutory Document  
The Hamlet of Cheadle Area Structure Plan (ASP) which is adopted by bylaw in accordance with Part 17, Division 12, Section 692 (1) of the *Municipal Government Act*, as amended, is a statutory document of the County.
2. Compliance with the ASP  
When considering Concept Plans (CPs) and development proposals/applications for the Hamlet, the County will ensure their compliance with the ASP.
3. ASP Review  
The County, in consultation with the community, should undertake reviews of the ASP every five years to verify that its objectives and policies are current, effective, and consistent with other County policies that may be adopted from time to time.
4. ASP Amendments  
The County or a landowner may initiate an amendment to this ASP. The County shall assemble or require the submission of such background information as is considered necessary to support the amendment prior to the start of the amendment process. Amendment of the ASP shall follow the appropriate procedures as outlined in the *Municipal Government Act*.
5. Other Statutory Documents  
There are many other documents and policies that have been approved by Wheatland County, and in some cases the Government of Alberta, that apply to development in the Plan Area. While this Plan has been developed to be consistent with these, it does not supersede provincial policies, legislation or regulations, not higher-order Municipal legislation and policy such as the MDP.

## 13.2 The Development and Approval Process

Due to the unique shape of existing land parcels within the Plan Area, a modified development and approval process has been developed for the Cheadle ASP Area. This process includes the following five steps:

1. ASP Approval (completed with this Plan);
2. Concept Plan (CP) – This stage will require organization of landowner groups and funding arrangements, consultant selection, planning and design. The Concept Plan will show the proposed street and block layout;
3. Land Use Redesignation (if required);
4. Subdivision; and
5. Development Permit / Building Permit.

The requirement of a Concept Plan has been added due to the unique shape of existing land parcels, and to:

- a) Achieve the County's objectives for the Hamlet of Cheadle in the earliest stages of the development process and ensure consistency and high quality in the development of the Hamlet from concept to implementation;
- b) Involve all interested Hamlet stakeholders in effective, efficient decision-making;
- c) Coordinate the development plans of various landowners and development interests;
- d) Respond more effectively to the potentials and constraints of particular sub-areas, existing conditions and natural / cultural features;
- e) Focus on the design implications of development planning, in particular, compatibility or fit between uses, road connectivity and existing and proposed- before the detailed design stage; and
- f) Expedite subsequent development approvals by clarifying the design at an earlier stage.



## 13.3 Public and Stakeholder Participation



Hamlet residents need to be confident in its governance and management by the County, and should feel that they are making a difference and can actively participate in the Hamlet's future direction. The aim is to engage residents through education, promotion and public debate on local issues. This ability to participate should be inclusive and accessible. Effective communication among Council, Administration, residents, businesses, public agencies and other levels of government is key to achieving the future vision of Cheadle.

Participation programs need to be transparent, inclusive, collaborative, and provide an opportunity for the constructive exchange of information. The programs need to provide an opportunity for participants to work together with the County to generate solutions that may not have otherwise been considered. This enables County decisions to benefit from local knowledge and ideas, while the public can learn about new concepts and successful examples from other municipalities.

Timely notification of upcoming events, clearly presented background information, and credible analysis are all critical to effective engagement. Many decisions are constrained by already-established priorities, financial constraints or existing development rights. These constraints need to be clearly articulated at the outset of a project.

### *Who should be involved?*

The public encompasses a wide range of stakeholders, including residents, advocacy groups, nonprofit agencies, businesses and landowners. Active public participation in County decision-making is critical for understanding what residents value, exploring the importance of these values relative to each other, and achieving a shared vision for the future of Cheadle.

### *How can people be involved?*

Opportunities for public input in municipal decision-making include making submissions to County Councilors or Staff, commenting at public hearings and meetings, participating in workshops, and volunteering for Council committees. Participants should also have the opportunity to consider and comment on research and information as it becomes available during the process.

# AREA STRUCTURE PLAN

## Objectives

- A. Ensure that residents and stakeholders have the appropriate means of participating in the County decision-making process.
- B. Offer meaningful opportunities for the public to become involved.
- C. Respect the time and effort made by the public to provide comments.
- D. Demonstrate that the public's input will be seriously considered.

## Policies

1. Public Participation The County shall establish a public participation program for amendments to this ASP which describes opportunities for public input based upon the scope and intent of the amendment.
2. Provision of Information The County shall continue to provide all public information relating to planning matters (including policies) to all residents, either at the County office or online on the County website.
3. Public Hearings Pursuant to the provisions of Part 17, Division 12, Section 692 (1) of the *Municipal Government Act*, as amended, the County shall hold a public hearing prior to giving any proposed amendment to this ASP second reading.
4. Improvements The County shall continue to improve opportunities for ongoing involvement by the public in County decision-making, recognizing the best practices of the International Association of Public Participation (IAP2) including, but not limited to, Council Committees, Advisory Committees and public engagement programs.
5. County Facilitation The County shall facilitate public input on matters of general planning interest, wherever possible. The County shall consider, but not be bound by, the input received from the public, and shall balance the input received with other considerations relating to the long-term interests of the entire community.
6. Public Participation Methods Public input may be obtained through a variety of methods, including open houses, public meetings, community newsletters, information bulletins, focus groups, citizen advisory groups, workshops, and surveys. Public engagement may be facilitated at any level of the decision-making process, including concept development, detailed design and implementation. Public engagement should be commenced as early as possible in the process.

# AREA STRUCTURE PLAN

7. Focus of  
Participation  
Programs

When approving a public engagement program (either County-driven or developer-initiated), the County shall consider, where appropriate, the following:

- a) focusing participation on the issues most likely to have a broad interest to the public;
- b) obtaining input from relevant stakeholders, including residents, advocacy groups, non-profit agencies, landowners and the business community
- c) scheduling engagement early in the decision process;
- d) clearly indicating the limitations within which decisions must be made;
- e) providing timely notification of upcoming participation events;
- f) providing information to participants on concepts, examples and best practices;
- g) ensuring that analysis provided to the public is accurate and objective;
- h) fostering group problem-solving among diverse interests; and
- i) using tools which encourage creative and multi-dimensional thinking.



# AREA STRUCTURE PLAN

## 8. Framework

To provide a framework to coordinate with residents and stakeholders, the County shall:

- a) pursue funding opportunities from higher levels of government;
- b) identify and request amendments to provincial legislation necessary to enable the County to implement specific policies in this ASP;
- c) develop inter-agency partnerships to provide effective, seamless program delivery and policy outcomes;
- d) ensure committees of Council or new committees of Council assist in implementing the policies in this ASP;
- e) assist members of advisory committees to become knowledgeable about the concepts embodied in this ASP;
- f) consider, as a condition for future cost-sharing or other financial assistance for transportation routes, services or terminals, whether the relevant authority, commission or carrier demonstrates that its proposed plans support specific policies of this ASP;
- g) maintain communication with the development community when implementing and periodically reviewing this ASP; and
- h) inform the financial community, where appropriate, about new development concepts and the associated economic viability through publications, workshops and conferences.

## 13.4 Financial Planning

A bylaw and policy document such as this ASP requires careful consideration about costs associated with implementation. These costs may be borne by the County, developers, residents, or a combination of the three, and is dependent on the nature of the objectives, policies and recommendations. Given the vision for Cheadle, it is important to ensure that the ASP does not put a financial burden on any one party as a result of growth in the Hamlet.

Development Agreements	During the development process (at the subdivision stage in Wheatland County) Development Agreements are prepared as a condition of approval for all development applications where servicing is required. These ensure that developers construct services such as (but not limited to) roads, water and wastewater pipes, and shallow utilities to the quality and standards required by the County.
Letters of Credit	Letters of Credit are often used to ensure Development Agreements are properly implemented. Although part of the development process, these tools should be used to ensure development of the Plan Area occurs according to the goals and objectives of this Plan. The policies below allow the County to require new residential development to enter into a Development Agreement with the County.
Off-Site Levies for Infrastructure	According to Section 648 of the <i>Municipal Government Act</i> (MGA) <sup>15</sup> municipalities may, by bylaw, require the payment of an 'off-site levy' to pay for services and infrastructure related to water, wastewater, and stormwater. These levies are collected to pay for previous or future improvements to these services (including trunk extensions, etc.) which a new development will benefit from. While this is a tool that is increasingly being used throughout the province, it ensures that the first developer in an area can recoup some of the costs from significant improvements made to the services in the entire area. The policies below allow the County to require new residential development to be subject to off-site levies.

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<sup>15</sup> *Municipal Government Act* (RSA 2000 cM-26.1)

# AREA STRUCTURE PLAN

## Objectives

- A. Ensure this ASP provides fiscally appropriate policy direction on growth management for the Hamlet.

## Policies

1. Development Agreement and Levies  
As per Policy 4.7.1 in the County *Land Use Bylaw*, development applicants may be required to enter into a Development Agreement with the County which may require the applicant to construct, install or pay for any local improvements and utilities which are needed to serve the development (including, but not limited to, on-site storm water facilities, road upgrading, and any required easements, and access requirements) or pay an off-site levy or redevelopment levy.
2. Infrastructure Upgrades  
The Hamlet of Cheadle is currently not serviced with water and wastewater infrastructure. Should the scale and size of proposed development require this type of infrastructure in the future, and any subsequent upgrades, new development may be required to pay additional levies to support creation and future upgrading of these systems to facilitate growth.

## 13.5 Recommended Amendments to the Land Use Bylaw

As a result of the community engagement completed during its development, and the policies included in this ASP, the County *Land Use Bylaw* is recommended to be amended to fulfill the vision for the Hamlet. These recommendations include:

1. Secondary Suites  
The County consider amending the *Land Use Bylaw* to include secondary suites as a permitted use in one of the County's residential districts, and as a discretionary use in others.
2. Concept Plans  
The County consider amending the *Land Use Bylaw* to include the requirement for Concept Plans for all new development of a certain size (to be determined at a County level).
3. Securities  
The County consider amending the *Standard Development Agreement* to ensure that the County has the appropriate level of securities to cover any costs related to postponed or failed development proposals.



# AREA STRUCTURE PLAN

## 13.6 Concept Plans

This Area Structure Plan requires that a detailed Concept Plan (CP) be prepared prior to development or subdivision in the Plan Area, unless otherwise exempted. The following describes the elements that will form the bulk of a CP. A CP should include as a minimum:

- a) a future land use scenario including lot design and configuration, parcel size, on and off-site visual impacts, green space connections, servicing strategies and compatibility with adjacent land use;
- b) a scenario for the integration of the proposed development with existing and adjacent development including the preservation or improvement of existing sight-lines;
- c) development phasing, that shows each phase to full build-out;
- d) any and all constraints to development including, but not limited to topography, environmentally sensitive areas as determined by a biophysical inventory, archaeological or historical sites;
- e) the availability or possibility of provision or extension of water and sewer services to the proposed development, and how this may be accommodated through adequate rights-of-way, if required;
- f) adequate soil, groundwater and percolation testing and evaluation when the developer proposes private sewage disposal systems;
- g) architectural controls to guide structural style, building materials and structural siting;
- h) a Landscaping Plan;
- i) a Master Drainage Plan and/or Site Implementation Plan including possible alternatives for Best Management Practices for stormwater management;
- j) the location of municipal and environmental reserve areas if required by the County;
- k) the provision of open areas for the purposes of habitat preservation, archaeological or historical sites, agricultural uses or highway interface;
- l) a Traffic Impact Assessment that addresses the location of existing and future transportation networks detailing traffic generation and its cumulative impacts on the road network including the necessary improvements;
- m) utility servicing strategies;
- n) population densities and projections;
- o) input from all directly and indirectly affected landowners within and adjacent to the Concept Plan boundary throughout the preparation of the Concept Plan, including a minimum of one (1) open house for the proposal;
- p) the support of the proposed Concept Plan by the majority of affected landowners; and
- q) any other matter deemed necessary by the County.

## 14.0 Monitoring and Evaluation

A framework for monitoring the “success” of the ASP is important for the County to continually evaluate the effectiveness of the policy direction in the document. Indicators of municipal growth can play an important role by measuring how relevant (i.e., successful) the plan is at directing growth in the Hamlet. The indicators measure social, environmental, economic and cultural aspects of growth.

### *Objectives*

- A. Create a monitoring framework which measures the “State of the Hamlet” each year.
- B. Develop the means necessary to determine the fiscal impact of development on the various stakeholders (e.g., developer, County, residents, etc.).

### *Policies*

- |                                    |   |
|------------------------------------|---|
| 1. Monitoring and Plan Performance | The County shall develop a monitoring and performance measure system. The use of indicators for monitoring shall identify trends and emerging issues and provide information that will have true value for public accountability, budgeting and delivery of planning services. Monitoring will establish if the plan needs to be revisited due to unforeseen changes related to growth or economic projections. |
| 2. Action Plan                     | The County shall review the Recommended Actions from this ASP each year to determine which (if any) projects should be implemented and budgeted for accordingly.  |

## Part D: Appendices



# AREA STRUCTURE PLAN

## 1.0 Interpretation of Terms

The definitions contained within this document are the same or similar to those found in County documents (e.g., MDP, LUB) to ensure consistency.

Agriculture General (A-G)	A land use district (per Land Use Bylaw #2007-56). This district provides for the conservation of extensive areas of land for agricultural production.
Archaeological / Historical Overview / Impact Assessment	An analysis of the potential impacts of development on archaeological and/or historical resources.
Archaeological Resource	A work of humans that is primarily of value for its prehistoric, historic, cultural or scientific significance, and is or was buried or partially buried in land in Alberta or submerged beneath the surface of any watercourse or permanent body of water in Alberta, and includes those works of humans or classes of works of humans designated by the regulations as archaeological resources;
Area Structure Plan (ASP)	A statutory plan, adopted by bylaw in accordance with the provisions of the <i>Municipal Government Act</i> , which provides a policy framework for the evaluation of proposals for redesignation, subdivision and/or development of a specified area of land within the Municipality.
Business Industrial	A general land use that includes a broad range of business activities that include commercial and industrial activities. Light industrial land uses may be accommodated within this area.
Business Park	A comprehensively planned development that may contain a range of commercial and light industrial activities in a number of buildings situated within a campus-like setting.
Collector Road	A road in the Hamlet which acts as a link between arterial roads (which includes primary and secondary highways) and/or other collector roads. A collector road may be either a major or minor roadway depending upon design and traffic volumes.
Commercial Land Use	The use of land, buildings or structures in which the provision of goods and services for sale is the primary function and may include auxiliary pursuits dependent upon parcel size and proximity to other uses.

# AREA STRUCTURE PLAN

Community Service (CS)	A land use district (per Land Use Bylaw #2007-56). This district provides recreational, educational, and community uses.
Comprehensive Site Development Plan	Refers to a site plan that relates the proposed land use and design elements of the built environment to the physical attributes of the development site (e.g., topography, soil, vegetation, etc.).
Concept Plan	<p>A plan, adopted by Council resolution or bylaw, which relates a proposed development to future and existing development of adjacent lands. A Concept Plan is a proposal for the development lands over time that may include, but is not limited to: a detailed site plan, topographic information, geophysical assessment, hydrological assessment, traffic impact analysis, environmental overview, phasing, community impact assessment and an archaeological and historical impact assessment.</p> <p>A plan for the subdivision and/or development of lands including, but not limited to, generalized land uses at the ¼ section scale, rationale for the developability of the lands and internal road hierarchy. Concept Plans contemplated by this ASP should be prepared in accordance with Municipal policy.</p>
Confined Feeding Operation (CFO)	An activity involving the confinement of agricultural livestock for the purpose of growing, sustaining, finishing or breeding, on land that is used for this purpose by means other than grazing. This activity requires registration or approval under the conditions set forth in the Agricultural Operations Practices Act (AOPA) and does not include seasonal feeding and bedding sites.
Council	Wheatland County Council.
County	Wheatland County.
Development Approval Authority	The approving body in Wheatland County for development applications. This may be a Development Officer, the Municipal Planning Commission or the Subdivision and Development Appeal Board.
Direct Control District	A district of the <i>Land Use Bylaw</i> that is subject to regulations established by Council for control over the use and development of a defined area and pursuant to the provisions of the <i>Municipal Government Act</i> .
Environmental Audit	An evaluation of any adverse effects that may qualify the site as contaminated pursuant to the <i>Environmental Protection and Enhancement Act</i> , as amended from time to time.

# AREA STRUCTURE PLAN

Environmental Overview	<p>Refers to an area-specific study that may include, but is not limited to:</p> <p>The identification and analysis of natural factors for the study area;</p> <p>An evaluation of the potential impact that a subdivision or development proposal may have on the factors identified; and</p> <p>An implementation program comprising measures for impact avoidance and/or mitigation.</p>
Environmental Reserve	<p>Land dedicated to a municipality during the subdivision process because it is considered undevelopable for environmental reasons in accordance with section 664 of the <i>Municipal Government Act</i>. This may include areas such as wetlands, ravines, drainage courses and steep slopes.</p>
Environmental Reserve Easement	<p>A caveat registered with Land Titles in favour of the municipality for lands that would be normally taken as environmental reserve in accordance with Section 664 of the <i>Municipal Government Act</i>.</p>
Environmentally Sensitive Area	<p>An undisturbed or relatively undisturbed site which because of its natural features has value to society and ecosystems worth preserving.</p>
Equivalent Land Capability	<p>The ability of the land to support various land uses after conservation and reclamation, similar to the ability that existed prior to an activity being conducted on the land, but that the individual land uses will not necessarily be identical.</p>
Gateway	<p>The entrance to an area, in this case the transition area from the County's rural area to the Hamlet.</p>
Gross Developable Acre / Hectare	<p>Gross Developable Acre / Hectare refers to the amount of land that remains once land affected by development constraints has been subtracted from the titles area, including water bodies (creeks, ponds) and related riparian setbacks, steep slopes, and other areas that may be granted as environmental reserve.</p>
Hamlet – Commercial (H-C)	<p>A land use district (per Land Use Bylaw #2007-56). This district accommodates Hamlet Commercial parcels.</p>
Hamlet Established Area	<p>This area includes all land within the existing Hamlet boundary that has been developed for a use other than agriculture. It includes residential, commercial and community service areas that are not in the existing Hamlet Centre.</p>
Hamlet Expansion Area	<p>This area includes all remaining land within the Plan Area, outside of the Hamlet Centre and Hamlet Established Area.</p>



# AREA STRUCTURE PLAN

Hamlet – Residential Single Family (H-RSF)	A land use district (per Land Use Bylaw #2007-56). This district accommodates single family dwelling units constructed and erected on site and of a design suitable to their specific locale, including modular homes, and excluding manufactured homes.
Historic Resource	Any work of nature or of humans that is primarily of value for its palaeontological, archaeological, prehistoric, historic, cultural, natural, scientific or esthetic interest including, but not limited to sites, structures or objects.
Hamlet – Industrial (H-I)	A land use district (per Land Use Bylaw #2007-56) that accommodates industrial uses.
Infill Development	Development in mature or built-up areas of the Hamlet occurring on vacant or underutilized lands, behind or between existing development, and which is comparable with characteristics of surrounding development.
Infrastructure	Public and private utility facilities and systems in the Hamlet that may include, but are not limited to, the transportation network, water and sewer systems, and solid waste management facilities.
Institutional Land Use	Refers to the use of land, buildings or structures for a public or non-public purpose and may include places of worship, community centres and government uses.
Land Use Amendment	A change in zoning / land use / designation.
Land Use Bylaw (LUB)	A Bylaw of Wheatland County, adopted by Council as a Land Use Bylaw #2007-56, pursuant to the provisions of the <i>Municipal Government Act</i> which is intended to control, and/or regulate the use and development of land and buildings within the County.
Land Use District	One or more divisions of the Wheatland County Land Use Bylaw establishing permitted and discretionary uses of land or buildings with attendant regulations.
Light Industrial Land Use	Refers to land extensive industrial development which may require large storage areas for raw materials and finished goods and may include minor external effects on neighbouring lands.

# AREA STRUCTURE PLAN

Minimum Distance Separation (MDS)	MDS is a tool to determine a recommended distance between a livestock facility and another land use. MDS will vary according to a number of variables including type of livestock, size of the farm operation, type of manure system and the form of development present or proposed.
Mixed Land Use	Refers to land use comprising a mix of commercial and residential development.
Municipal Development Plan (MDP)	Wheatland County Municipal Development Plan (bylaw 2006-01).
Municipal Government Act (MGA)	Refers to the <i>Municipal Government Act</i> , Statutes of Alberta, Revised Statutes of Alberta, Chapter M-26, 2002, as amended from time to time.
Municipal Government Act (MGA) Interpretation	' <i>Municipal Government Act Interpretation</i> ' means all other words and expressions have the meanings respectively assigned to them in the Act and, in questions of interpretation, the Development Officer and/or the MPC will determine the consequences in terms of the application of the Bylaw.
Municipal Planning Commission (MPC)	Wheatland County Municipal Planning Commission established by Bylaw. MPC is delegated the power to make decisions with respect to applications for a Development Permit and subdivision in addition to the Development Officer.
Municipal and School Reserve (MR or MSR)	Subject to section 663 of the MGA, as indicated in Section 666(1), the subdivision authority may require the owner of a parcel of land that is the subject of a proposed subdivision to: <ul style="list-style-type: none"> <li>a) provide part of that parcel of land as municipal reserve, school reserve or municipal and school reserve;</li> <li>b) provide money in place of municipal reserve, school reserve or municipal and school reserve; or</li> <li>c) provide any combination of land or money referred to in clauses (a) and (b).</li> </ul>
Municipality	Wheatland County and which context requires; means the area contained within the municipal boundaries of the Municipality.
Natural Features	Includes landscapes that are found in their natural state and may be remnant, undisturbed, diverse or contain unique environmental characteristics.

# AREA STRUCTURE PLAN

Plan Area	The Hamlet of Cheadle in Wheatland County; the Study Area or ASP Area.
Private Utility	A utility service offered to the public by a private utility company or co-op including, but not limited to; the provision of gas, electricity, or telephone services.
Provincial Highway	A highway (formerly referred to as primary or secondary road) designated by Ministerial Order pursuant to the <i>Alberta Highway Traffic Act</i> . Such highways are under the jurisdiction of Alberta Transportation.
Qualified Professional	An individual with specialized knowledge recognized by the Municipality and/or licenses to practice in the Province of Alberta. Examples of qualified professionals include, but are not limited to; agrologists, engineers, geologists, hydrologists, land surveyors and planners.
Redesignation	Refers to the reclassification by the Municipality of a land use designation in the <i>Land Use Bylaw</i> applicable to a specific area of the Municipality.
Residential Land Use	A primarily residential land use in which auxiliary pursuits may be allowed dependent on the parcel size and/or proximity to other residences.
Stormwater Management Plan	An integrated approach to water management which is premised on providing control at the lot level and in conveyance (to the extent feasible) followed by end-of-pipe controls. A plan includes (but is not limited to): elevations of the development, percentage of grade, direction of stormwater flows, to ensure the flow is contained within the parcel.
Subdivision Authority	The subdivision authority established by Council pursuant to the <i>Municipal Government Act</i> .
Tentative Plan of Subdivision	A proposal detailing a site-specific subdivision design that may form the basis for an application for subdivision approval.
Traffic Impact Assessment (TIA)	<p>And area-specific study that may include, but is not limited to, an analysis and evaluation of:</p> <ul style="list-style-type: none"> <li>• The potential impact of a proposed subdivision and/or development on the existing transportation network; and</li> <li>• A program of future expansion and/or improvement of the transportation network to accommodate the proposed growth and to preserve the function and integrity of the network.</li> </ul>



# AREA STRUCTURE PLAN

Waste – Waste  
Transfer Site  
(W-WTS)

A land use district (per Land Use Bylaw #2007-56). This district provides for the temporary containment and transfer of municipal solid waste to a Solid Waste Management Site and may include provision of facilities for recycling purposes or for the collection and storage of tires and pesticide containers.

## 2.0 Public Engagement Results

Notes from January 2012 Community Workshop

March 2012 Newsletter

May 2012 Newsletter

Notes & Questionnaire results from the May 2012 Public Open House



WHEATLAND  
COUNTY

Proud heritage. golden future...

# WE INVITE YOU TO JOIN US

You are invited to a Community Workshop to help shape the future of Cheadle. This discussion will allow residents and stakeholders to share their perspectives on the community, including current assets and challenges, and ideas for future change. If you would like to help shape the future, we invite you to drop by.

Thursday, January 26, 2012

5:00 - 6:00pm Open House

6:00 - 8:00pm Workshop

Cheadle Community Hall

*Light refreshments and door prizes included*

Dillon Consulting Limited (Dillon) has been working with Wheatland County to develop an Area Structure Plan (ASP) for your community. This workshop is part of the first step, to develop a vision for Cheadle. It will guide the creation of new principles and policies for future growth and development.

An important part of developing a new Plan for the community is creating a vision that represents its residents. We are asking you to start thinking about your community by asking yourself the following questions:

How do you see your community?

How do you want others to see it?

What features do you value?

What is being done right?

Where is there room for improvement?



## CHEADLE NOTES – Community Workshop, January 26<sup>th</sup>, 2012

### Cheadle Today - What do you like?

- great distance from town & city
- enjoy open space
- not a lot of retail/commercial – no traffic
- enjoy ag culture and wildlife
- respectful neighbours with a country lifestyle
- low crime
- lot of room between homes
- great community involvement
- would like sidewalks or improve roads
- highway access/ Hwy 24 – access to different points
- fairly quiet
- views to mountain, but still have views to fields on clear night
- proximity to Calgary – 20 min
- low crime – very little
- views/sunsets/sunrises
- neighbours are good
- kids similar age – play together
- trust your community – can see/hear them, others watching your kids
- community hall – various functions
- improvements – currently no services, no gas, coffee shops, milk – 10 min drive to get something
- recreational activities – rink, boy that played hockey gone, no one to maintain
- road maintenance – pot holes, snow removal
- services – recycling centre, garbage pick up
- law enforcement – Railway Ave – speeding a problem (incident where due to speed a car hit a tree recently)
- good location and access to Calgary & Strathmore
- good distance from Calgary, nice place to live don't lock doors
- don't need a school, close to Strathmore
- residential mainly
- develop to 10,000 people
- sewage treatment
- should it be small or develop
- senior housing could be here, good proximity to Strathmore
- best place to live!
- quiet, peace & tranquil – but close to Calgary
- can do agriculture, work in Calgary
- opportunities for improvement – gas station, corner store in time
- traffic through town – build connector to the south
- no growth on the slough

### Cheadle in 30 Years - Discussion on Growth

- better access to East Side of Cheadle (across highway)
- possible pedestrian bridge
- no development in slough area
- development on East Side, population 300
- slough area into natural wetland – ex: Ducks unlimited
- 2<sup>nd</sup> west side access
- given constraints maybe 500



- environmental issues with nature – maybe 2,500 people
- need services
- let town back from Highway 24 for the development & movement of traffic
- develop the area ¼ all the way around the existing
- developing to 10,000 people
- water & sewage
- plan for retail stores
- schools, recreation parks, pathways
- housing may need to be diverse for this size of development
- depends on water & sewage
- sewage- pump to Strathmore??
- market place will determine – we can't tell people where to live
- will depend on the commercial strip growth
- boundary – stay on one side of the Highway or re-route the highway

#### Economic Development

*How important is the development of Cheadle's economy?*

*What economic activity should be fostered and what should be discouraged?*

*Where would you like to see those types of development? Where would you not like to see them?*

- better internet provider – will assist with home businesses
- no retail/commercial – no gas station, etc., close to town
- low intensity home base business, low traffic, low noise, residential based
- in the future possible corner store may be possible, not adjacent to residential - buffer
- home-based business- great, not junk yard
- gas station, convenience store, coffee shop (highway traffic there to support it)
- rec facilities
- services
- Hwy 1/24 – location of interchange – what does that mean for Cheadle?
- locate near community hall (north of..)
- locate close to community and progressive development
- town stay under the Wheatland County
- home business – small light industries – designated area
- light industries & gas station should be on the East side of Hwy 24
- residential on the West side-welders, plumbers
- not important
- more homes to support development along Highway
- being so close to Calgary and Strathmore – nothing needed
- stormwater management very important
- people need to support local store – might not happen – still buy in town
- more recreation facilities

#### Community Services

*What is your vision for community services in Cheadle?*

*Which are most important to you?*

*Where would you like to see those types of services in Cheadle?*

*Where would you not like to see them?*

- proper 911 addressing
- return back to Cheadle postal code
- proper house #, road name addressing

- proper & safe outdoor arena
- recreation facility –year round, basketball
- speeding on Railway Ave – more enforcement
- internal roads paved
- stormwater management with park & wetlands
- sewer- can't support individual septic systems
- water system – look at drainage, deal with runoff
- if lots smaller, problem with septic services
- water line –can't access, connecting to water line possible?
- garbage removal – waste management (\* priority)
- road maintenance (\* priority)
- snow removal
- park maintenance – rec services
- community rec areas (current), improvement to this first (\* priority)
- paved roads
- sidewalks, bike paths, dog walk/park, walking path
- water park?
- skateboard park
- bike paths
- Clean up – more welcoming community
- sign (hamlet) for Cheadle – County's responsibility
- water & sewage
- internet
- green space
- recreation – hall, rinks, playground, parks, pathways, bikes, water area with paths – used by the community and looked after the community
- garbage pick up? Roads paved, sidewalks
- transfers site where it leave it there
- don't want grow opps
- fine services-water drainage within the town
- arena, dog walk
- golf course?
- sidewalks – too expensive, supposed to be no traffic
- underground electrical?
- numbering is helpful
- parks?? Expensive
- garbage? Dump or Strathmore? Recycling centre? In future
- Utility corridor on water line
- emergency services need more population

#### Environmental Protection

*What does environmental protection mean to you?*

*What are the valuable environmentally significant features and assets in Cheadle?*

*How do we protect environmentally sensitive areas?*

- protect natural water ways – enjoyment for all
- tree stands need to stay & protect
- native grass close to water ways – need protection
- wildlife such as; owls, fox, birds (migrating)- winter & spring; identify locations
- markers along pathways identifying wildlife in area
- prairie crocus – native flowers in area

- more tall trees
- maintaining waterway, wetlands
- proper drainage
- not much to protect
- blue herrings start to nest in sloughs
- stop moving dirt – it's a mess
- marsh – what happens when taken out?
- parks – need areas where houses don't go – paths
- wildlife flourish if planned development around it – ways to do it
- wastewater, drainage and/or stormwater drainage to be planned
- pay more attention to chemicals & runoff
- 7 acre pond – left as nature area
- leave the natural drainage as is and plan the housing development in such a way to not impact and/or damage these drainage canals
- county shouldn't have to look after land...maintain
- no Ducks unlimited-development can happen anywhere – all equal

1. Where do you live? Please mark (✓) the answer from the list below.

13 In the Hamlet      6 Outside the Hamlet      1 Chestermere      1 Borders Hamlet at Cheadle Hall  
2 Plan to Move to Hamlet,      1 SE 13-24-26W4

2. Where are we now? Community growth and development is often balanced with the issues and concerns of residents. *What is your level of concern with the following issues as they may apply to your community?*

Issue	Level of Concern				
	1 (low)	2	3 (neutral)	4	5 (high)
Social development (recreational facilities, recreational amenities – playing fields, children's playgrounds)	2		3	11	8
Emergency services (fire, police and ambulance)	3	4	5	5	7
Lack of commercial/retail land development	6	7	3	5	2
Lack of business industrial land development	9	4	6	3	2
Lack of residential land development	4	1	5	6	7
Conversion of agricultural land to non-agricultural land uses (e.g., residential, commercial, industrial, institutional)	4	4	7	2	6
Economic Development / Employment	6	8	4	6	
Protection of natural areas (streams, water bodies, sensitive habitat)		1	2	6	15
Oil & Gas Activity	3	1	8	4	5
Other (please specify): Taxes					1
Other (please specify): Drainage Issues				1	4
Other (please specify): Waste (garbage)					1
Other (please specify): Water					1
Other (please specify): Sewer and Water					2
Other (please specify): Stable Internet Access				1	1
Other (please specify): Bike Path, Walking Path				1	
Other (please specify): Road Conditions Fixed					2
Other (please specify): Sidewalks for kids to use					1
Other (please specify): No gas stations or stores	1				

3. Where do we want to go? Please indicate your level of support for the following potential future land uses in the Hamlet?

Land Use Type	Level of Support				
	1 (low)	2	3 (neutral)	4	5 (high)
Residential	1	1	2	5	12
Business Industrial (jobs)	7	7	3	2	2
Commercial/retail	4	7	3	4	3
Schools, recreational facilities, etc	2	1	5	10	4
Other (please specify): Parks					1

4. Where do we want to go? Please draw where you would like to see future growth (and specify if it's residential, commercial, business industrial, public service, parks, etc.)

No Drawn on comments



# Cheadle Community Workshop Feedback Form

Thank you for attending this Community Workshop for the *Cheadle Area Structure Plan (ASP)*. Please fill in this feedback form prior to leaving, as your responses will help us to plan similar events in the future. Once complete, please hand in your form at the sign-in table, to a facilitator at the session or to your municipal liaison. Place a check (☑) in the box(es) corresponding to the response that best answers the question for you.

1) *Where do you currently live?*

12 In the Hamlet 8 Outside the Hamlet 5 Other (please specify): 1 Unknown; 1 SE13-24-26W4  
1 Border Cheadle Hamlet; 2 Plan to move to hamlet

2) *How did you learn about tonight's engagement session?*

0 County Website 7 Poster / Flyer 8 Newspaper  
5 Family / Friend 7 Other (please specify): 4 Mail; 1 Board; 1 Unknown; 1 Councillor

3) *Why did you decide to attend this event (check all that apply)?*

21 Interested in discussing the future of my community  
8 Specific issue that I am concerned about that I wanted to share  
4 Wanted to use the opportunity to directly talk with a municipal representative  
0 Something to do, or other.

4) *Please rate your level of satisfaction with tonight's session:*

	(1) Unsatisfactory	(2) Satisfactory	(3) Excellent	Comments:
Opportunity to share your thoughts		10	15	1 Very Good Discussion
The number of hand outs	1	11	13	
Quality of visuals		12	13	
Overall organization of the session		11	14	

5) *Please rate your level of satisfaction with the session leader (facilitator):*

	(1) Disagree	(2) Neutral	(3) Agree	Comments:
Guided the group process without being too directive		3	22	1 Very Good at leading the groups
Were open to new ideas, viewpoints and opinions	1	1	23	
Was skilled at getting everyone in the group involved		4	21	
Overall, the facilitator did a great job		3	22	

6) *Other Comments you may have about tonight's session*

- Good to hear others opinions. Thanks
- Previous Wetland Development approval needs reworking

# CHEADLE AREA STRUCTURE PLAN

## Planning & Development Update

MARCH 2012 — COMMUNITY NEWSLETTER



In cooperation with Wheatland County, Dillon Consulting is developing an Area Structure Plan (ASP) for the Hamlet of Cheadle, where there has never been an ASP for the whole community.



A Community Workshop was held on January 26, 2012, at the Cheadle Hall, where the project team introduced the project to residents and stakeholders. What we heard at that workshop through the discussion and community survey allowed us to learn about what is valued by Cheadle residents today.



The information received was used directly in developing a new community vision, and community goals and objectives around three themes:

- 1. Community Services**
- 2. The Natural Environment**
- 3. Economic Development**

From the community workshop, the following vision and objectives were developed.

## A New Community Vision

Cheadle is a small, quiet, bedroom community, with convenient access to the amenities of Calgary and Strathmore. It is a place where neighbours are respectful and involved in their community, and residents enjoy a rural lifestyle, low crime and the feeling of open space. In the future, Cheadle will continue to grow slowly, building on its serene character, while helping to accommodate new residents in a variety of housing types. A new Area Structure Plan will ensure that it will be a well-planned, residential community for people of all ages, including families and seniors, with well-developed pedestrian-oriented services and parks. The community will see economic growth with improvements to the local ecosystem, through protection of existing trees and limiting growth in sensitive areas.

## The Natural Environment

Natural areas, tree stands, native grasses, flowers, waterways and wetlands are very important aspects of the natural environment.

They provide stormwater management and drainage features, promote recreation activities and provide wildlife habitat. The County recognizes Cheadle's unique environment and encourages clustered development, limiting the size of new residential lots, protecting environmental reserves and creating parks around sensitive areas.



*(Continued on page 2)*

# CHEADLE AREA STRUCTURE PLAN

## Planning & Development Update

MARCH 2012 — COMMUNITY NEWSLETTER



### *Community Services*



Growth in Cheadle will require improved services such as water, sewer, and expanded utilities (such as internet) and emergency services. Management of stormwater and groundwater is extremely important, and new development will require Master Drainage Plans and hydrological studies. In the future, Cheadle will likely be able to support expanded recreation facilities (such as a recreation centre, improved skating rink, skateboard park, more playing fields, a basketball court, bike paths or a dog park), and a senior care facility.

### *Economic Development*

Due to its proximity to Strathmore and Calgary, development of the Hamlet's economy would benefit from local opportunities such as a coffee shop, corner store or gas station, small home businesses and related small-scale commercial uses. Industrial uses and large box stores do not fit the character of Cheadle and should not be encouraged within the Hamlet. New commercial development should be planned for when they could be connected to water, sewer and other required infrastructure, and should be setback from existing residential uses, and accessed from Highway 24.



### *Next Steps*

Over the next few months, the project team will be drafting the policies and objectives for the Area Structure Plan, including the future land use concept map for Cheadle. A second Public Open House will be held in the spring to present the draft ASP and mapping to the community for input and feedback. Based on comments we receive then, the draft ASP will be revised and presented to Council for consideration. A Public Hearing will provide a third opportunity for community input at that point.

**If you have any questions or concerns about the ASP project, or the information presented in this newsletter please email or call:**

**Linda Henrickson**

Project Manager - Wheatland County

Linda.Henrickson@wheatlandcounty.ca

403-361-2024

**Alex Taylor**

Project Manager - Dillon Consulting

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403-215-8885, x4246

# CHEADLE AREA STRUCTURE PLAN

## Planning & Development Update

MAY 2012 — COMMUNITY NEWSLETTER #2



In cooperation with Wheatland County, Dillon Consulting has been developing an Area Structure Plan (ASP) for the Hamlet of Cheadle. Since the project began last fall, the project team has:

- ◆ Created a Community Backgrounder (fall)
- ◆ Held a Community Workshop (January)
- ◆ Created new visions for Cheadle (February)
- ◆ Distributed Newsletter #1 (March)
- ◆ Drafted the ASP (April), including:
  - ◆ Sustainability principles,
  - ◆ Policy to support the new visions,
  - ◆ A new Future Land Use Concept, and
  - ◆ An Implementation Plan

We will be discussing Draft #1 of the ASP with Council in early May.



Information received at the January Community Workshop was used to develop new visions for the community as a whole and:

1. **Community Services,**
2. **The Natural Environment,** and
3. **Economic Development.**



These visions were used as the basis for policy development, land use concepts and urban design.

Major considerations that the ASP covers include:

- ◆ Development of a **Hamlet Expansion Area** beyond the current hamlet boundary,
- ◆ The **Future Housing Mix** and **Residential Density**,
- ◆ Supporting local **Commercial and Retail** uses if future demand exists,
- ◆ Potential **Future Servicing** if growth warrants,
- ◆ **Phasing** and **Consolidation of Land** for new development,
- ◆ Creating **Gateways** to the Community,
- ◆ **Protecting Tree Stands and Sensitive Areas** of Cheadle for wildlife, and
- ◆ **Transition Areas** between different land uses.



# CHEADLE AREA STRUCTURE PLAN

## Planning & Development Update

MAY 2012 — COMMUNITY NEWSLETTER #2



# You're invited

## Cheadle Area Structure Plan (ASP) OPEN HOUSE & PRESENTATION

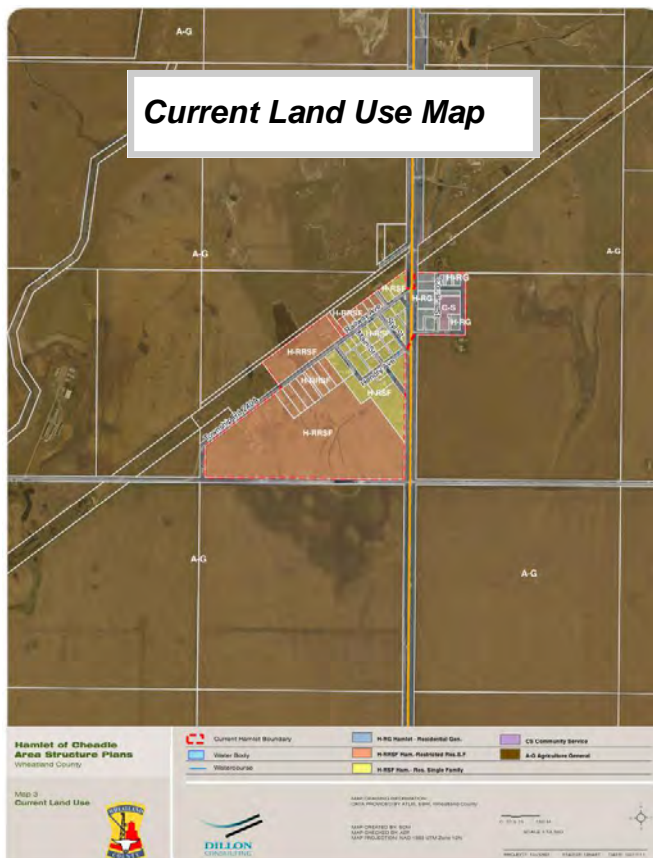
Tuesday, May 15th, 2012  
Cheadle Community Hall

Open House 5 PM to 6 PM  
Presentation 6 PM to 8 PM

*Light refreshments will be provided*

The draft Area Structure Plan will be on display, and staff will be on hand to answer any questions that you may have. Your feedback is important in shaping the future of Cheadle. We need to hear what you think! To review a copy of the draft Area Structure Plan, please visit:

[www.wheatlandcounty.ca](http://www.wheatlandcounty.ca) (It will be posted shortly after May 8th)



If you have any questions or concerns please email or call:

**Linda Henrickson**

Project Manager - Wheatland County

[Linda.Henrickson@wheatlandcounty.ca](mailto:Linda.Henrickson@wheatlandcounty.ca)

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- or -

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# HAMLET OF CHEADLE – AREA STRUCTURE PLAN

# QUESTIONNAIRE RESULTS

Open House - Tuesday, May 15th, 2012 - Cheadle Community Hall

**24 SIGNED IN – 18 filled our survey**

Thank you for attending the Hamlet of Cheadle Area Structure Plan (ASP) Open House this evening. To help the project team finalize the draft ASP before it is presented to Council in June, please fill out this short questionnaire before you leave. We value your input and would like to receive as much feedback as possible. If you require assistance, please ask one of the Open House facilitators.

## 1. Where do you currently reside?

10 ☐ Cheadle – within Current Hamlet Boundary (see map on back)

4 ☐ Cheadle – outside Current Hamlet Boundary but inside proposed Future Hamlet Boundary or Plan Area

5 ☐ Other: \_\_\_\_\_

- Other, adjacent to outer boundary, future expansion
- Other, Strathmore

## 2. Do you own land in the Plan Area (see map on back)?

17 ☐ Yes

1 ☐ No

## 3. What do you think of the new Visions for the Community, the natural environment, economic development and community services? \_\_\_\_\_

- 
- Good ideas, maybe more of potential for people to enjoy natural areas (future pathways)
  - Wanted a slow growing a community not a fast development
  - Keep it slow, small, peaceful, that's why people come here
  - Vision seems to be moving ahead, we like proposed area in ASP for size of area to be initially looked at for development
  - Good for Cheadle
  - Like it, but do not support ¼ lots, even for infills
  - Good, but keep them within small area, max. 4 quarters
  - Interesting plan
  - Approve
  - Visions make sense
  - I like it
  - Vague but have to start somewhere
  - Good start, but don't support ¼ acre lots

## 4. Housing:

- Do you support the principles of Conservation Subdivision Design (CSD), including using cluster development to protect green space and agricultural land, as approved in the 2011 Wheatland County Regional Growth Management Strategy? 11 ☐ Yes 4 ☐ No Please explain: \_\_\_\_\_

- 
- Works for me

## HAMLET OF CHEADLE – AREA STRUCTURE PLAN

## QUESTIONNAIRE RESULTS

Open House - Tuesday, May 15th, 2012 - Cheadle Community Hall

- Good, we need walk aerie (?)
- No, want 1 or more acres lots
- No, like larger lots 1 or more acres
- Do you support a mix of housing types (secondary suites, duplexes, senior residences, as well as single-family detached) in Cheadle? **9** ☐ Yes **8** ☐ No Please explain: \_\_\_\_\_

- 
- No, not duplexes, people move to Cheadle for space, not having neighbours attached to you
  - Yes, need overlying plan for the future with water/septic/wastewater etc.
  - Yes, on 1 or larger acre lots
  - No, take away view and makes community too busy
  - No, too busy looking, not uniform
  - Yes, I do but it does not seem to be in the near future (we are so small)
  - No, single family predominately

- Do you support a lot size of 1 acre? **16** ☐ Yes **1** ☐ No Please explain: \_\_\_\_\_

- 
- No, ½ acre would be big enough
  - Yes, would keep with more openness for country living
  - Yes, we are not serviced so concerned about water quality and sewers
  - Yes, we have lots of room

- Do you support a density of 4 units per acre (1/4 acre lots) if Cheadle were to get servicing? **11** ☐ Yes **5** ☐ No Please explain: \_\_\_\_\_

- 
- Yes, opportunity for large + small lots
  - Yes, for a portion if there is overlying plan to service lots
  - No, I like having large lots, 1 acre or larger
  - Yes, if there is a overlying plan
  - No, 2/acre preferred
  - No, live out here so each lot can have space – 1 acre minimum I like, otherwise too busy
  - Yes, really just want the services if this is the way
  - No, like larger lots – part of the reason we moved here

### 5. Transportation:

- Do you support a second access to Cheadle, west from Highway 24, south of Railway Ave? **18** ☐ Yes ☐ No Please explain: \_\_\_\_\_

- Yes, cuts traffic down
- Yes, would be nice to have exist/entrance back

## HAMLET OF CHEADLE – AREA STRUCTURE PLAN

## QUESTIONNAIRE RESULTS

Open House - Tuesday, May 15th, 2012 - Cheadle Community Hall

- Yes, south of slough areas/possible widening at Highway 24 through Cheadle
  - Yes, 2 exists are better
  - Yes, this would help with large vehicles, give them a second access
  - Yes, didn't we just close this?
  - Yes, essential for separating local/farm traffic
  - Yes, this will make Railway Ave less busy
  - Yes, in winter it is very desirable
- Do you support promoting the historical grid pattern as the primary development layout? 13 ☐ Yes 3 ☐ No

Please explain: \_\_\_\_\_

- No, nicer communities are not square, grid development would have no character
- No, want a small community
- Yes, don't bother me (grid pattern)
- Yes, if it fits with new plans
- Yes, no cul de sacs
- Yes, if it fits in with the new ASP
- Yes, I support both west and east Cheadle development

### 6. Stormwater Management:

- Do you support promoting Low Impact Development (LID), including using rain gardens and bio-swales to help manage stormwater in Cheadle? 17 ☐ Yes ☐ No

Please explain: \_\_\_\_\_

- 
- Yes, any new development will require this
  - Yes, the water management is important

### 7. Any other general comments? \_\_\_\_\_

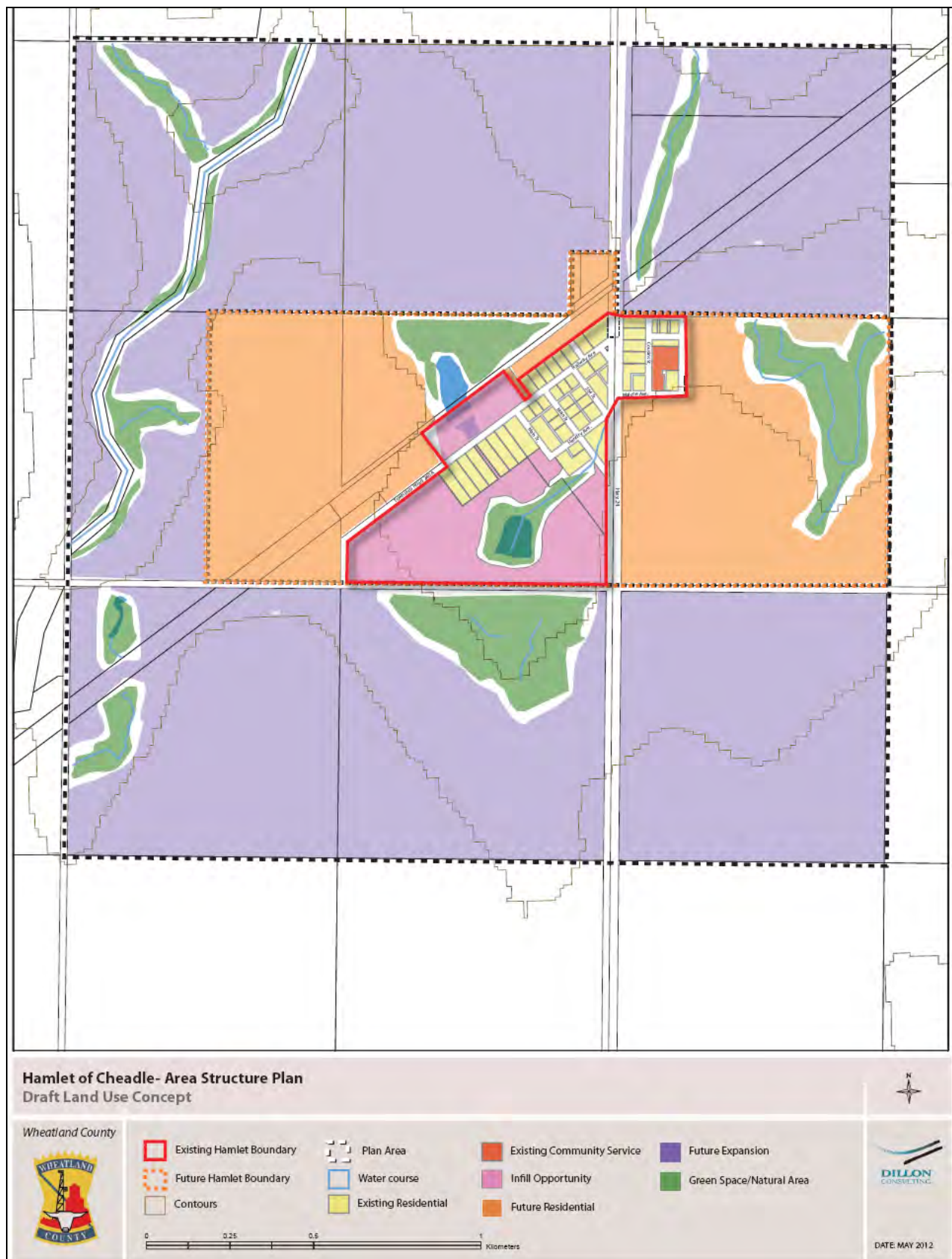
- 
- Before moving forward, the #1 concern to be addressed is 'water', eliminate wells, and then sewer to allow the land water to purify itself
  - Any new development needs to be scrutinized. No gas stations/corner stores. Put those on the highway.
  - Highway dividing east and west should be built similar to highway through Airdrie (same for highway through Strathmore)
  - Keep it small
  - Great opportunity to interact with planners
  - Would welcome a corner store/gas station in Cheadle if it grows
  - Drainage and hydrological studies imperative, historical review necessary, no store and gas station now.



# HAMLET OF CHEADLE – AREA STRUCTURE PLAN

# QUESTIONNAIRE RESULTS

Open House - Tuesday, May 15th, 2012 - Cheadle Community Hall



Thank you for participating in this questionnaire. Your responses will help to create a more comprehensive and inclusive ASP for Cheadle. Should you have additional questions or comments, please contact Alex Taylor at Dillon Consulting, 403-215-8885 ext 4246 ([ataylor@dillon.ca](mailto:ataylor@dillon.ca)) or Linda Henrickson at Wheatland County 403-361-2024 ([Linda.Henrickson@wheatlandcounty.ca](mailto:Linda.Henrickson@wheatlandcounty.ca)). If you would like to complete the questionnaire on your own time, please fax it to Linda at 403-934-4889 no later than Friday, May 18th, 2012.